

REQUEST FOR HISTORIC AND SCENIC PRESERVATION COMMISSION ACTION

IV.A. FAHIM TANLOS, APPLICANT

Certificate of Appropriateness No. 706 – Design review and discussion of a revised proposal to construct a residential condominium project, consisting of eight (8) dwelling units, within four 2-story buildings totaling 11,200 square feet. The project site consists of two vacant parcels located at 516 and 532 Cajon Street (APNs: 0173-043-15-0000 & 0173-043-16-0000) in the Early Redlands Historic and Scenic Preservation District (Historic District No. 3). The proposal may qualify for exemption from environmental review in accordance with CEQA Guidelines Section 15332 for infill development projects.

HISTORIC AND SCENIC PRESERVATION MEETING: June 5, 2025

Planner: Nylsen Escajeda, Assistant Planner

SYNOPSIS

1. Historic Designation: Early Redlands Historic and Scenic District (HD No. 3)
2. Existing Land Use: Vacant and unimproved parcels
3. Historic and Scenic Preservation Commission submittal dates:
 - (A) Date Submitted: August 15, 2024
 - (B) Date Accepted as Complete: (Application Incomplete)
 - (C) Historic and Scenic Preservation Commission Meeting: December 5, 2024 (continued)
4. Attachments:
 - A) Location Map & Aerial Photograph
 - B) Site Photographs
 - C) Site Plan
 - D) Architectural Elevations
 - E) Color 3-D Renderings
 - F) HSPC Staff Report of December 5, 2024

PROPOSAL

The applicant proposes to construct an eight-unit residential condominium project with four (4) two-story buildings (totaling 11,200 square feet of livable area) on two vacant parcels (see Attachments A, B, and C). The revised proposal includes two units per building (each unit is 1,400 square feet) and four detached buildings that are arranged around the central driveway, with vehicular access from the rear alley (see Attachments D, E, and F). Parking for each unit is provided in tuck-under garages accessed by a drive aisle between the two buildings.

The buildings are designed to incorporate details and features that coincide with the Craftsman architectural style. The buildings are cube in shape, at two stories tall, with horizontal projections throughout the second floor. The predominate roof pitch is 4:12, with composition shingles. Each unit has roughly the same number of windows, doors, patios, and balconies.

BACKGROUND

The HSPC reviewed the initial project plans on December 5, 2024, and suggested several architectural revisions. The Commission's comments are summarized below.

- The design of the proposed home is not consistent with the existing homes in the neighborhood; most homes in the neighborhood are wood-sided, not stucco-sided, and are Craftsman style and late Victorian style, not Spanish style.
- The proposed front setback of the multi-family structures is not compatible with the existing homes along Cajon Street.
- The mass and scale of the proposed building are incompatible with the other buildings in the area. The third story would not be compatible with the neighboring homes in that historic district.
- The overall appearance is out of scale with the neighborhood.
- The balconies are very modest and not useable for families as outdoor space.
- The proposed lighting is an issue.
- Commissioners recommended the architect utilize the City's *Historic Architectural Design Guidelines*.

The revised project plans are now being brought back to HSPC for further review, as requested on December 5, 2024.

For further background information regarding the project site and application, please see Attachment G.

ANALYSIS

The applicant's architect has significantly revised the project plans in response to the prior suggestions and feedback received in the Commission meeting of December 5, 2024. The following is an analysis of those revisions.

A) Proposed Design Revisions

The building provides articulation and projections on the second story, with Craftsman style architectural details. The massing and façade articulation of the buildings are now more compatible with the surrounding residential structures (mostly two-story detached homes along Cajon St., and one-story detached homes in the neighborhood to the west).

The first story is square and planar in envelope with a patio, balcony and second story overhanging the front of one unit. The other unit, on the opposite side (there are two units within each separate building), has roughly half the depth of patio, balcony, and second story overhang over the front of the unit. The second story has projections and recessions, with the overall massing of each individual building being symmetrical.

The smaller buildings and placement have a scale and massing more similar to the existing single-family lots and homes within the historic district. With the average dimensions of adjacent homes being 40 feet wide and 55 feet deep, the proposed individual building dimensions of 43 feet wide and 45 feet wide are consistent with adjacent massing. Additionally, the project sits on two parcels that once had single-family homes. The proposed site layout would keep this urban fabric consistent by placing buildings, that are approximately the same size of the original, around where the original pads were.

B) "Craftsman" Architectural Style

The proposal includes several architectural elements commonly found in Craftsman styles, as detailed in Appendix B (pg. 225) of the *Historic Architectural Design Guidelines*. The guidelines list defining characteristics of the style, as follows.

- One or two stories in height
- Building forms that respond to the site
- Low-pitched gabled roofs
- Broad, overhanging eaves with exposed structural members such as rafter tails, knee braces, and king posts
- Shingled exteriors (occasionally clapboard or stucco)

- Broad front entry porches of half- or full-width, with square or battered columns
- Extensive use of natural materials for columns, chimneys, retaining walls, and landscape features
- Casement windows situated into groups

Figure 1: Example of “Craftsman” Architecture



Source: City of Redlands *Historic Architectural Design Guidelines*, pg. 225.

The following table compares the proposed design to the “Craftsman” Design Guidelines.

Table 1: “Craftsman” Design Guidelines

Guidelines	Proposed Design
<ul style="list-style-type: none"> One or two stories in height 	Project is two stories, with an attic
<ul style="list-style-type: none"> Building forms that respond to the site 	The scale and massing of each of the buildings is proportional to what was once placed on those parcels. No other significant site conditions can instruct design
<ul style="list-style-type: none"> Low-pitched gabled roofs 	4:12 pitch, common for Craftsman
<ul style="list-style-type: none"> Broad, overhanging eaves with exposed structural members such as rafter tails, knee braces, and king posts 	Eaves and patios are present, as required for Craftsman homes, however it does not have the elevated porch platforms that this home typically has on its front facade. Columns and supports do have Craftsman accents, such as the stone facades
<ul style="list-style-type: none"> Extensive use of natural materials for columns, chimneys, retaining walls, and landscape features 	Besides the stone accents, no other indication of natural materials is being proposed
<ul style="list-style-type: none"> Casement windows situated into groups 	Windows are grouped

C) Guidelines for New Buildings and Non-Contributing Buildings in Historic Districts

The *Historic Architectural Design Guidelines* includes “Guidelines for New Buildings and Non-Contributing Buildings in Historic Districts” in Chapter 8 and is relevant for purposes of this project. The proposed project will be consistent with these guidelines.

Table 2 summarizes the Site Design Guidelines for new buildings within historic districts and the project’s consistency.

Table 2: Site Design Guidelines (Chapter 8)

Guidelines	Proposed Design
<p>Building Placement:</p> <ul style="list-style-type: none"> • Place a new residence to reflect the established setbacks along the block. • Where front setbacks are uniform, locate the building in alignment with its neighbors. • Where front setbacks vary, locate the building within the established range of setbacks on the block. 	<p>The building setback is similar with the rest of the block. Buildings on this block have setbacks of 15' to 25', with the average being 20'. The proposed setback is 17' to the first projections, and 15' to the front façade wall plane.</p>
<p>Side Setbacks:</p> <ul style="list-style-type: none"> • Locate the new residence to maintain the side setback spacing pattern on the block as discernible from the public right-of-way. 	<p>While the side setbacks are shorter than usually found on the block, the interior driveway gives a spacing that is similar to two neighboring properties with abutting driveways or large setbacks, as typically seen on this block.</p>
<p>Orientation:</p> <ul style="list-style-type: none"> • In general, a new residence should be oriented to face the street in residential historic districts. • Locate the primary entrance, consisting of a porch or entrance stoop, on the front façade of the building, where it is highly visible. • Where there is more than one building on a site, orient at least one of the buildings to face the street. The other building(s) may face the street or a common courtyard area. 	<p>Both forward buildings have entrances, patios, and balconies that are oriented towards the street. The rest of the units face each other or to private and common open spaces.</p>
<p>Garage Placement:</p> <ul style="list-style-type: none"> • Locate a garage or other ancillary structure to be consistent with the location of other ancillary structures within the surrounding block/neighborhood. Typically, garages are either detached, located at the rear of the property, or attached, flush with, or projecting from the primary façade of the residence. 	<p>Garages are located off of an internal drive aisle and will not be entirely visible from the Cajon Street right of way.</p>

<p>Vehicular Access:</p> <ul style="list-style-type: none">• Place a driveway to be consistent with the placement of other driveways within the historic district.• Driveways may be located alongside the residence, leading to a rear detached garage, or they may be aligned with the residence, leading to an attached garage.• Avoid constructing a new curb cut or driveway where an alley can provide access to a rear detached garage. In order to maintain the historic streetscape and yard patterns of the historic district, avoid widening an existing curb cut or driveway.• Design a new driveway to be compatible with the material composition, width, and overall appearance of existing historic driveways within the district.	<p>Vehicle access to the property is from the rear. No new curb cuts on Cajon Street are proposed.</p>
<p>Pedestrian Access:</p> <ul style="list-style-type: none">• Provide a clear discernible path from the new residence to the street. The walkways should either lead from the entrance directly to the sidewalk, or to a driveway that leads to the street. Its configuration should be consistent with the configuration of other walkways in the historic district.• Design a new walkway to be compatible with the material composition, width, and overall appearance of the walkways of adjacent historic properties.	<p>Clear discernable paths to Cajon Street from all the units.</p> <p>The project will maintain the existing sidewalk and parkway along the Cajon St. frontage (consistent with the surrounding historic district).</p>

Table 3 summarizes the Building Design Guidelines for new buildings within historic districts and the project’s consistency.

Table 3: Building Design Guidelines (Chapter 8)

Guidelines	Proposed Design
<p>Scale and Massing:</p> <ul style="list-style-type: none"> • Design a new residential building to be compatible with the scale and massing of historic buildings in the surrounding district. • A new residence should be within the range of historic heights (typically one or two stories) in the surrounding block/neighborhood. • Incorporate building forms and volumes like those of surrounding historic properties. Avoid using overly complex building forms or a wide variety of forms than are typical of adjacent historic buildings. Similarly, avoid designing overly simplified, boxy building forms when they are not typical of the surrounding historic district. • Locate and proportion building components to reflect similar components on adjacent historic properties. For example, roof height/width, foundation height, floor-to-floor height, porch height/width, window height/ width, and door height/width should generally match the heights/widths of those components of surrounding historic residences. • Small-scale multi-family buildings should be designed in such a way that individual building units express historic single-family residential dimensions. For instance, incorporate a front porch for each unit when a porch is needed to maintain the typical streetscape and proportions of the surrounding historic block. 	<p>The scale and massing of the new buildings will be proportional with the surrounding historic district. The proposed project offers very similar dimensions of building width, height, and depth to those homes and businesses along Cajon Street. The dwellings are proposed to be two stories, which will be consistent with those homes along Cajon Street as well as the single-family neighborhood to the west.</p> <p>The proposed two single-family scale of the units facing Cajon Street mimic the two parcels that currently exist. The scale and massing is consistent with the single family homes in the area and neighboring homes.</p> <p>While the neighborhood offers a list of different types of homes, this portion of Cajon Street shares many of the proposed design features: two stories, roof patterns with gables and dormers, porches, and generally boxy shapes.</p>

<p>Roof Form:</p> <ul style="list-style-type: none"> • The building’s roof type and pitch should be compatible with the architectural style of the building. 	<p>It has a 4:12 pitch, which is in the range of Craftsman style structures.</p>
<p>Façade Composition:</p> <ul style="list-style-type: none"> • A new residential façade, particularly the primary façade and those most visible from the public right-of-way, should be designed with the same level of articulation as the façades of surrounding historic properties. • Articulate the façade(s) with architectural details that are compatible with the predominant architectural style(s) along the block. See Appendix B for more information about the character-defining features of architectural styles in Redlands. • Details should be simple in design and should complement, rather than visually compete with, the character of adjacent historic residences. Architectural details that are more ornate than those found in the historic district are inappropriate. 	<p>The forward faces proposed have a similar amount of articulation to those found on the rest of the street, with a comparable number of windows, patios, and projections.</p> <p>These features do not compete with existing dwellings.</p>
<p>Entrance Porch or Stoop:</p> <ul style="list-style-type: none"> • Design a projecting or recessed entrance porch or stoop at the primary façade of the building. • The front porch/stoop should be one story in scale and oriented toward the street. • The front porch/stoop should be designed with the same level of articulation as those of surrounding historic properties. 	<p>The entrance stoop is prominent and visible from Cajon Street. The design does, however, omit an elevated porch that is commonly found on properties along Cajon Street. An elevated porch is also a common feature of Craftsman homes in general (although may not be a character-defining element).</p>

<p>Exterior Materials:</p> <ul style="list-style-type: none">• Use exterior materials that are compatible with the materials present in the historic district.• Choose materials that are the same or similar in finish, texture, and overall appearance as those used on adjacent historic residences.	<p>Proposed design has been changed to utilize predominantly wood siding (rather than stucco), wood trim around windows and doors, and gabled roof forms. Small, partially enclosed porches at ground-level complete this modern interpretation of the common “Craftsman” style.</p>
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D) Summary

The project architect has substantially revised the proposed buildings and site layout in response to the previous suggestions and feedback offered in the December 5, 2024, Commission meeting. Staff believes the revised design substantially conforms to the Craftsman design theme, and the design may be approved in concept. If the commission wishes to make further refinements (as formal design requirements), then appropriate Conditions of Approval may be written.

The Planning Commission will review and make the decision regarding the proposed land use and site improvements (with a Commission Review & Approval permit). Following project approval, the final architectural design will be brought back to the Historic & Scenic Preservation Commission for subsequent approval of Certificate of Appropriateness No. 706.

ENVIRONMENTAL REVIEW

If the proposal is deemed to be consistent with the applicable Secretary of Interior Standards and the City’s *Historic Architectural Design Guidelines*, then the project’s potential impact on the surrounding historic district may be less than significant and exempt from environmental review subject (CEQA Guidelines Sections 15064.5(b)(3) and 15332).

STAFF RECOMMENDATION

Staff recommends that the Commission review the proposed architectural revisions and provide any final comments or recommendations to the applicant regarding consistency with the City’s *Historic Architectural Design Guidelines*.

MOTION

No motion is necessary for this item at this time, as no action is being taken on the permit.

ATTACHMENT "A"

Location Map and Aerial Photograph



Project Location

017303411

017304313

017304314

017305407

017305406

017305415

017305405

017304312

017304315

017305404

017304311

017304316

017305403

017304310

017304317

S 4th St

017304309

Cajon St

017304318

017305402

017304308

017304319

017304307

0 15 30 60 90 120 US Feet



City of Redlands Attachment A - Location Map and Aerial Photograph

Author: Redlands GIS Date: 6/5/2025

ATTACHMENT "B"

Site Photographs

Site Photos, 516 Cajon St.

From Cajon

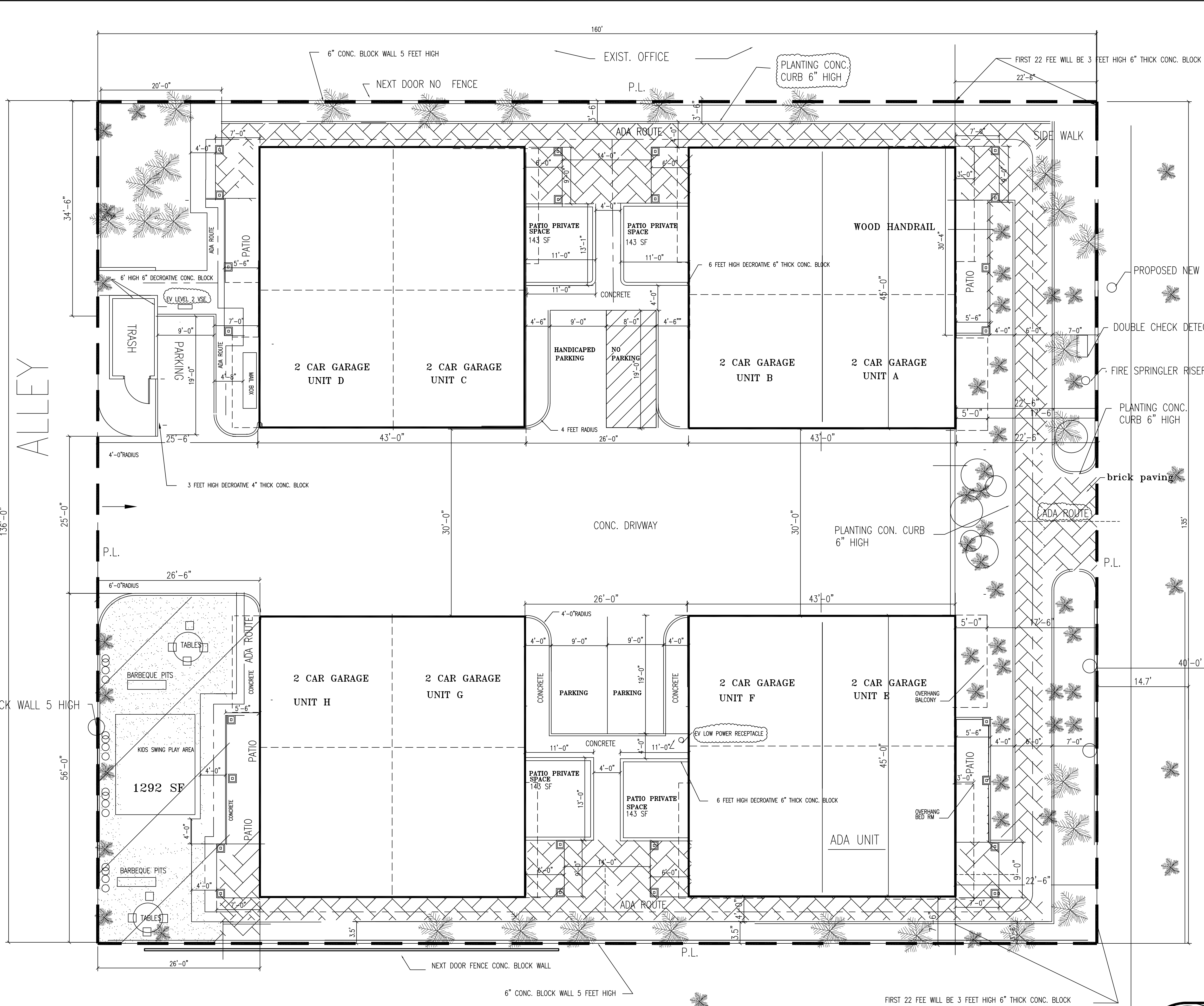


Photos from the Alleyway



ATTACHMENT "C"

Site Plan



NORTH

LEGEND

- COMMON SPACE
- concrete
- BRICK PAVING

CURRENT CODE:
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA GREEN CODE

CONSTRUCTION: TYPE V-B
 FIRE SPRINKLERED, YES
 OCCUPANCY GROUP R3/U
 THE BUILDING WILL BE PROVIDED WITH
 AUTOMATIC FIRE SPRINKLER COMPLY WITH
 NFBA 13R STANDARD

From the present time until project
 construction phase, property owner is
 responsible to maintain compliance with
 Redlands Municipal Code Chapter
 8.40 regarding Weed Abatement and Fuels
 Management. -Weeds and annual grasses
 shall be maintained at 4 inches of growth
 or less. -Tumbleweeds and similar
 uncultivated vegetation shall be removed

LOT ADDRESS:
 516 CAJON ST REDLANDS
 APN 0173-043-15&16
 LOT AREA 21278 sf

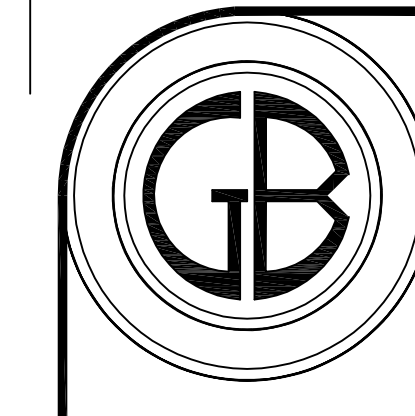
COMMON SPACE REQUIRED
 LIVING AREA 8 UNITS X1400 SF=11200 SF
 COMMON REQUIRED 11000/4=2750 SF
 PRIVATE SPACE AT SECOND FLOOR PROVIDED 8X97=776 SF
 PRIVATE SPACE AT SECOND FLOOR PROVIDED 4X98=392 SF
 PRIVATE SPACE AT FIRST FLOOR PROVIDED 4X143=520 SF
 TOTAL PRIVATE SPACES =1688 SF
 COMMON SPACE REQUIRED 2750-1688=1062 SF
 COMMON SPACE PROVIDED 1292 SF

COVERED AREA:
 LIVING AREA SECOND FLOOR 4123X2=8246
 PORCHES 190 SF
 TOTAL 8436
 LOT AREA 21680 SF
 COVERAGE 38.9 %

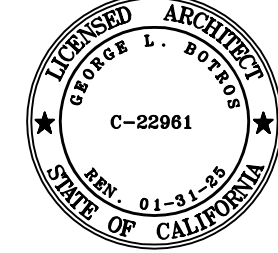
PARKING SPACES PROVIDED
 8 - 2 CAR GARAGES
 4- GUEST PARKING

NORTH

SITE PLAN
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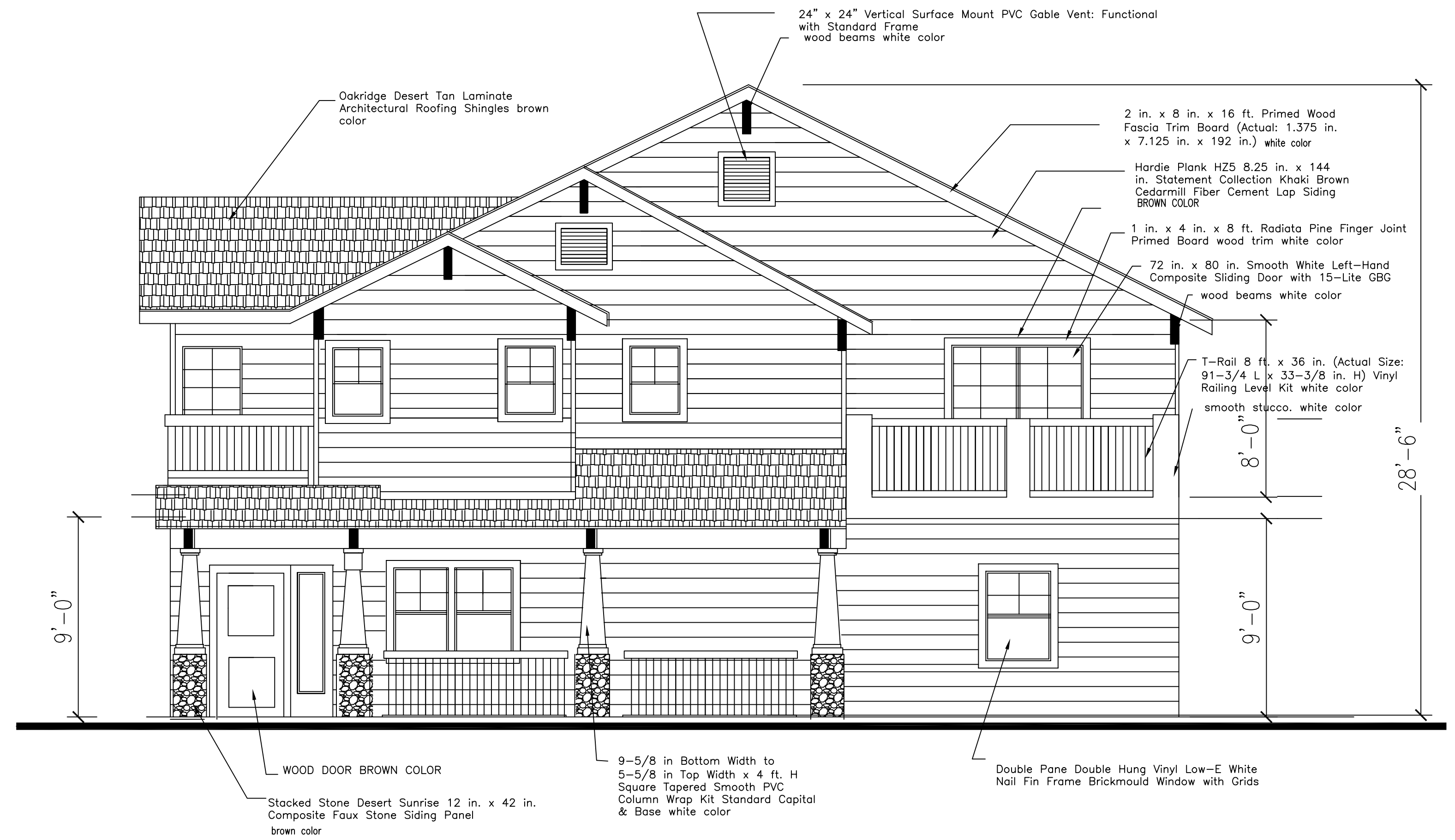


SITE PLAN
GB ARCHITECTS
 ARCHITECTURE . PLANNING . ENGINEERING
 400 N. MOUNTAIN AV. # 208
 UPLAND, CA, 91786
 (909) 849 - 6999 FAX (909) 949-2928

OWNER:		
FAHIM 909-228-2921		
PROJECT#	SCALE	A-1
DATE:	1/8"=1'-0"	
6-11-24		

ATTACHMENT "D"

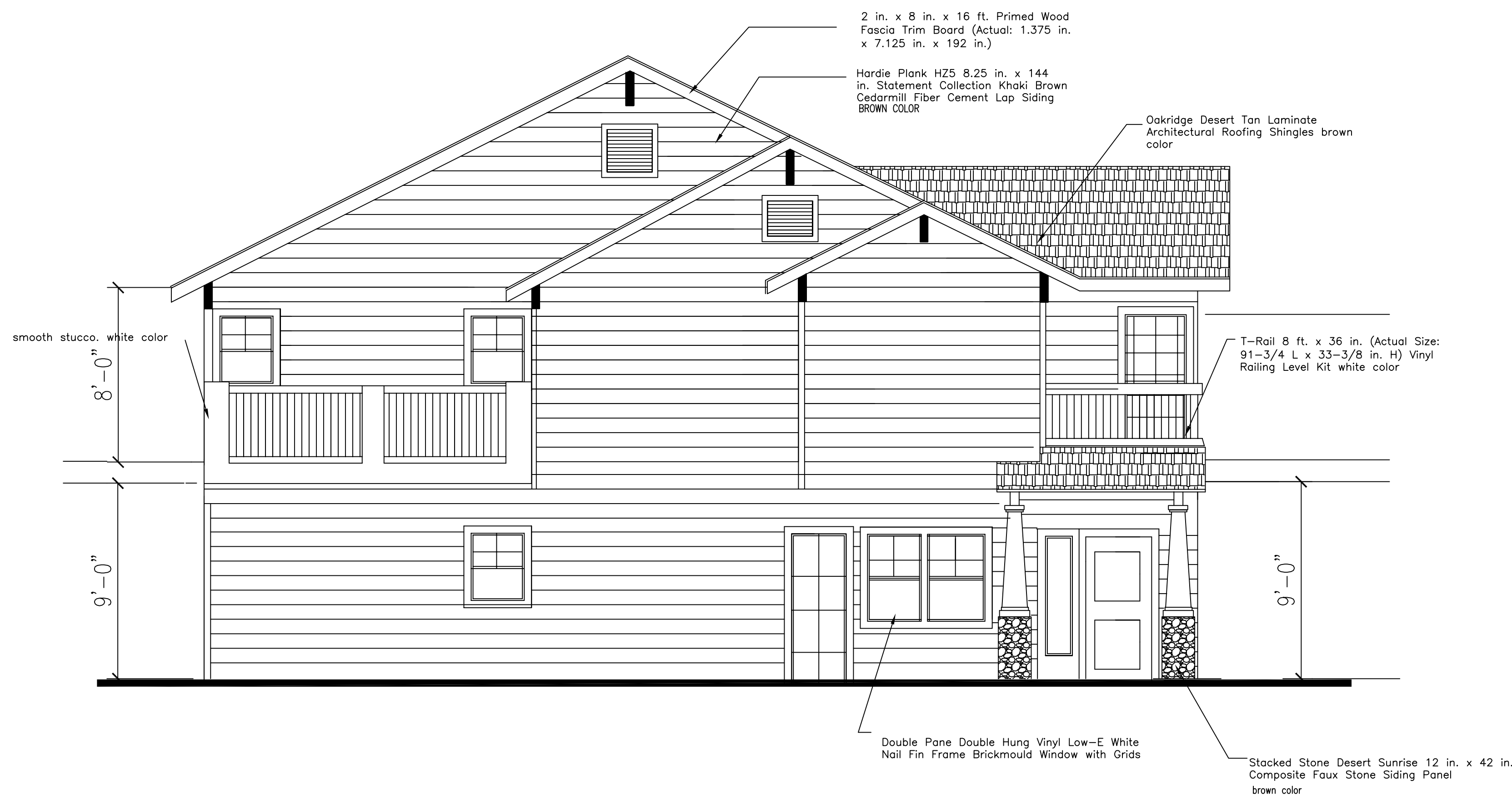
Architectural Elevations and Roof Plan



FRONT (STREET) ELEVATION

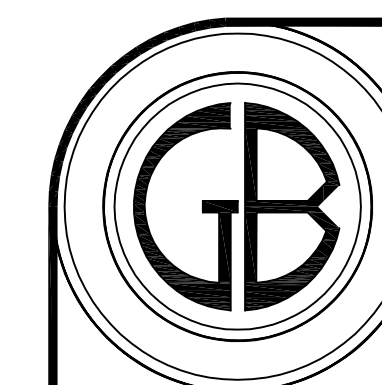
ALLEY ELEVATION IS SIMILAR

SCALE
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INTERIOR ELEVATION

SCALE
1/4"=1'-0"



ELEVATIONS

GB ARCHITECTS

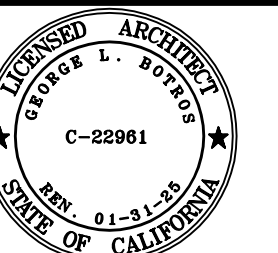
ARCHITECTURE . PLANNING . ENGINEERING
400 N. MOUNTAIN AV. # 208
UPLAND, CA, 91786
(909) 949-6999 FAX (909) 949-2928

OWNER:

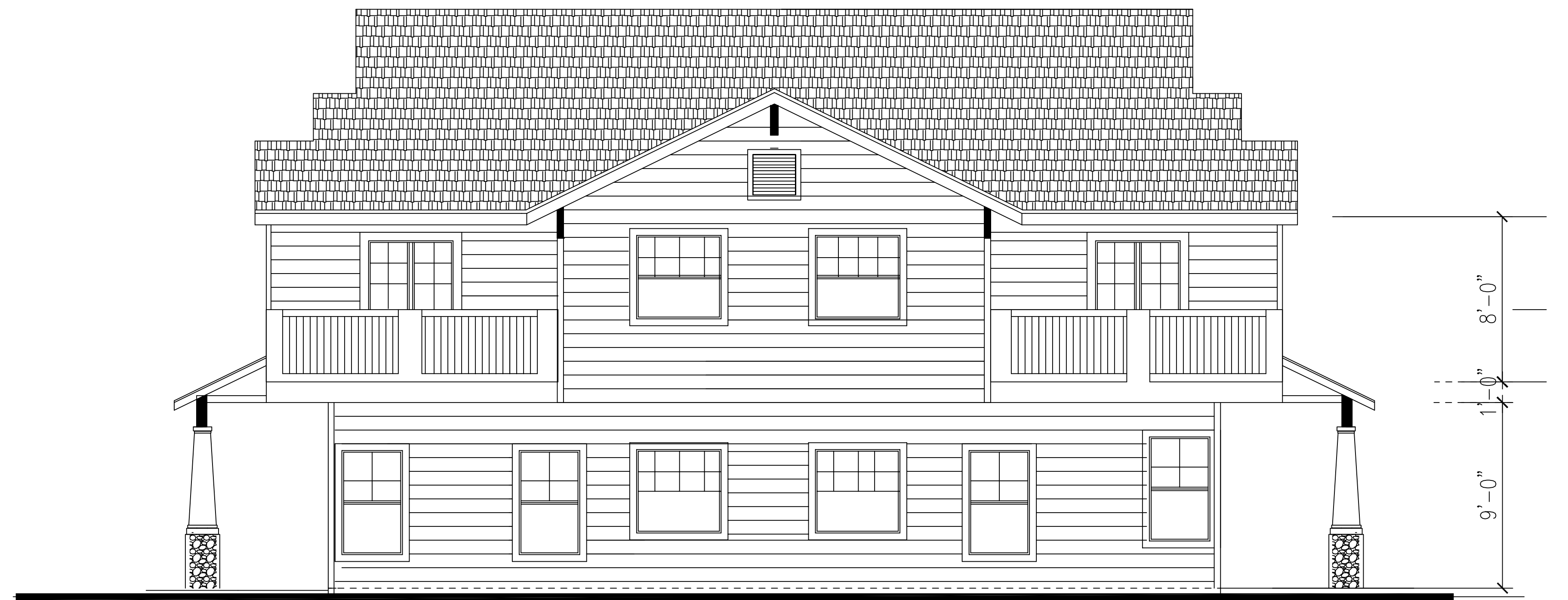
FAHIM
909-228-2921

PROJECT# SCALE
6-11-24 1/4"=1'-0"

DATE:



A-3



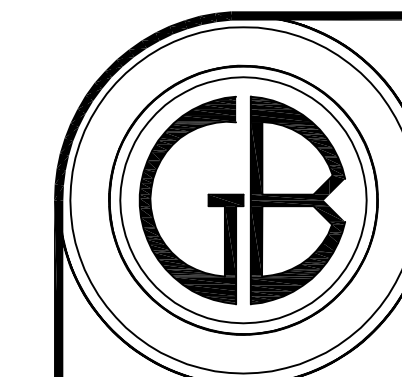
SIDE ELEVATION

SCALE
1/4"=1'-0"



DRIVWAY ELEVATION

SCALE
1/4"=1'-0"



ELEVATIONS

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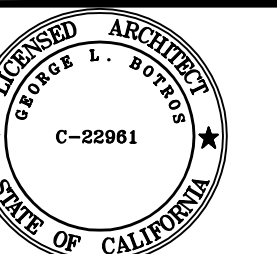
OWNER:

FAHIM
909-228-2921

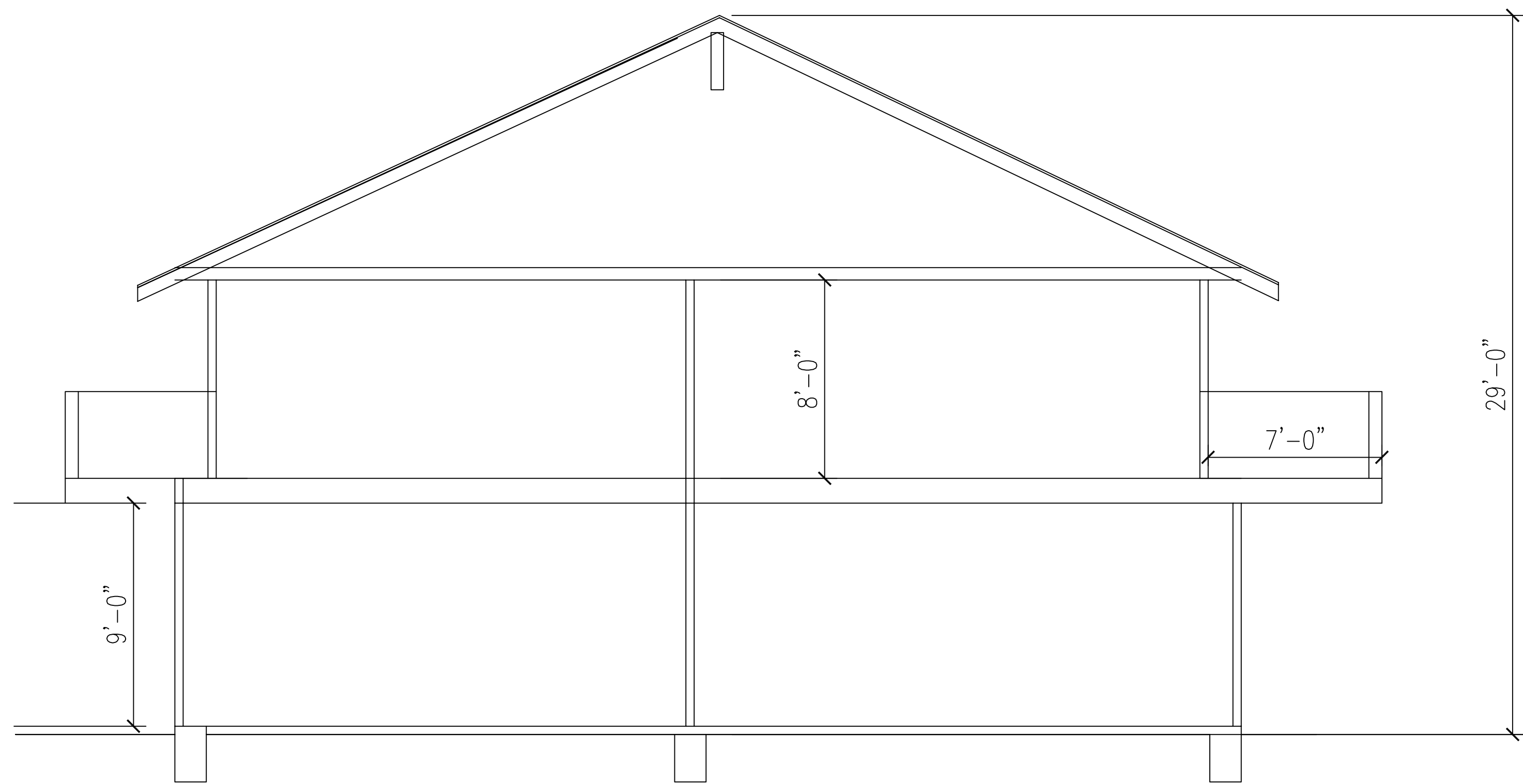
PROJECT#

DATE:
6-11-24

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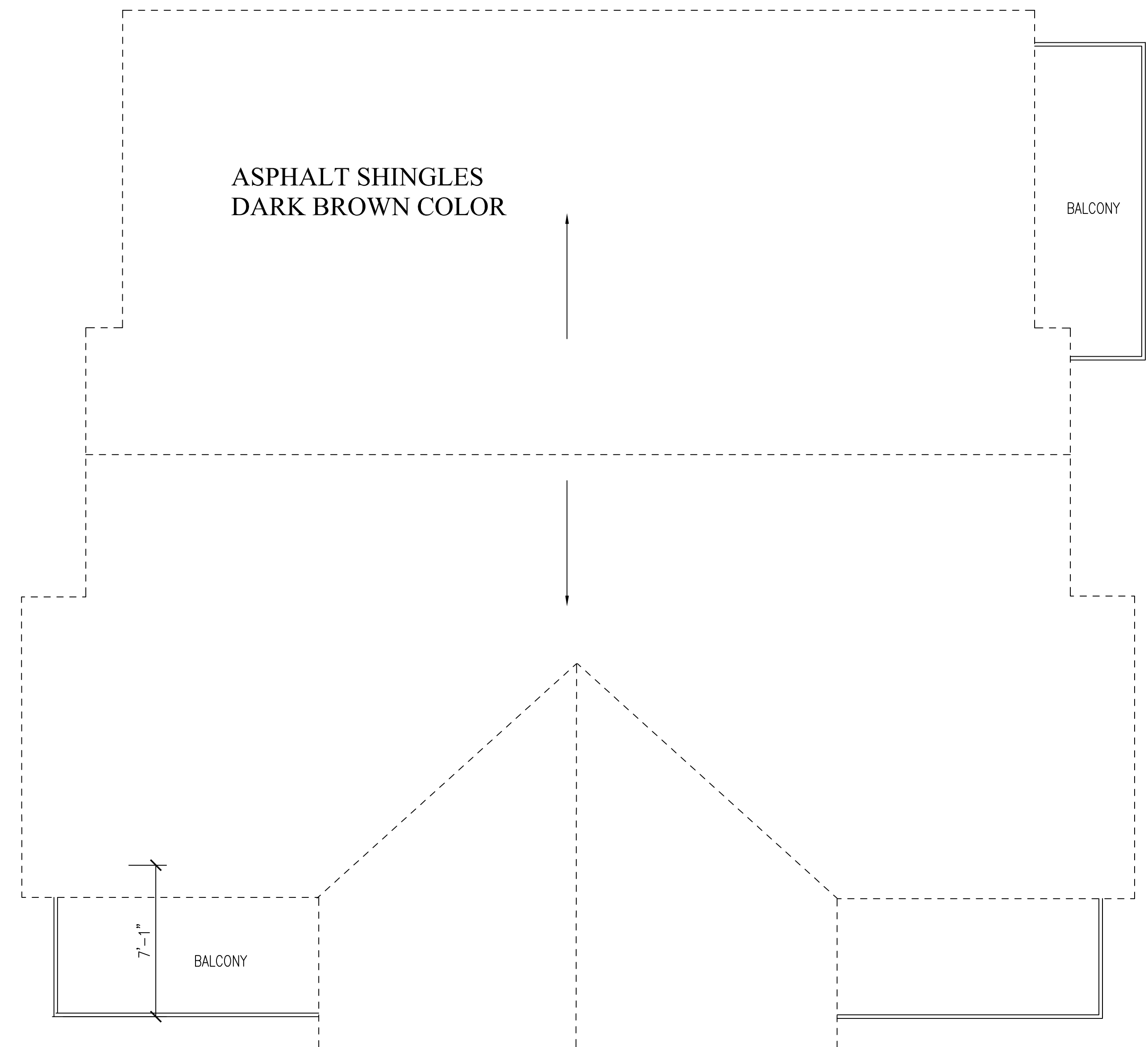


A-4



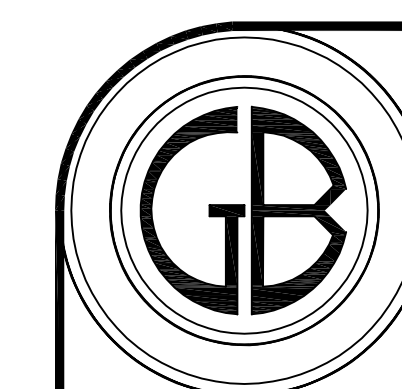
SECTION A-A

SCALE
1/4"=1'-0"



ROOF PLAN

SCALE
1/4"=1'-0"

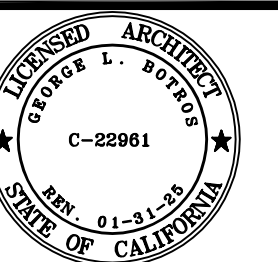


ROOF PLAN AND SECTION
GB ARCHITECTS
 ARCHITECTURE . PLANNING . ENGINEERING
 400 N. MOUNTAIN AV. # 208
 UPLAND, CA, 91786
 (909) 949-6999 FAX (909) 949-2928

OWNER:
 FAHIM
 909-228-2921

PROJECT#
 SCALE
 1/4"=1'-0"

DATE:
 6-11-24



ATTACHMENT "E"

Color 3-D Renderings





ATTACHMENT "F"

HSPC Staff Report of December 5, 2024

REQUEST FOR HISTORIC AND SCENIC PRESERVATION COMMISSION ACTION

V.C. FAHIM TANLOS, APPLICANT

Certificate of Appropriateness No. 706 – Design review and discussion of a proposal to construct an eight-unit residential condominium project with two, three-story buildings totaling 12,460 square feet. The project is located on two vacant parcels located at 516 and 532 Cajon Street (APNs: 0173-043-15-0000 & 0173-043-16-0000) in the Early Redlands Historic and Scenic Preservation District (HD-3). The proposal may qualify for exemption from environmental review in accordance with CEQA Guidelines Section 15332 for infill development projects.

HISTORIC AND SCENIC PRESERVATION MEETING: December 5, 2024

Planner: Nylsen Escajeda, Assistant Planner

PROCEDURE FOR PUBLIC HEARING

1. Chairperson declares the meeting open as a public hearing.
2. Chairperson calls upon staff for report.
3. Chairperson calls for questions/comments from members of the Commission.
4. Chairperson calls upon applicant, or its representative, for comments/testimony.
5. Chairperson calls for comments/questions/testimony from members of the public (3 minutes per speaker).
6. Chairperson calls upon the applicant, or representative, for rebuttal comments (5 minutes).
7. Chairperson closes the public hearing.
8. Commission considers the motion(s) and votes.

SYNOPSIS

1. Historic Designation: Early Redlands Historic and Scenic District (HD3)
2. Existing Land Use: Vacant and unimproved parcels
3. Historic and Scenic Preservation Commission submittal dates:
 - (A) Date Submitted: August 15, 2024
 - (B) Date Accepted as Complete: November 1, 2024
 - (C) Historic and Scenic Preservation Commission Meeting: December 5, 2024
4. Attachments:
 - A) Location Map & Aerial Photograph
 - B) Site Photographs
 - C) Site Plan
 - D) Architectural Elevations
 - E) Color 3-D Renderings

- F) Material & Color Sample Board
- G) Environmental Information Form

PROPOSAL

The applicant proposes to construct an eight-unit residential condominium project with two three-story buildings totaling 12,460 square feet of livable area. Currently, the proposal includes four units per building, (two 1,415 square-foot units and two 1,700 square-foot units). The project consists of two identical buildings oriented back-to-back with one fronting on Cajon St. and the other facing the adjacent alley to the west of the site.

The buildings are designed to incorporate details and features that coincide with the Spanish Colonial Revival architectural style. The buildings are rectangular in shape and three stories tall, with horizontal surface projections throughout the second floor. The third floor extends above portions of the second floor to accommodate bedrooms for the larger units. The roof is pitched at a ratio of roughly 2/12 throughout and includes terracotta roof tiles. Each unit has roughly the same number of windows, doors, patios, and balconies.

Access is provided to the site from an alley on the west, which runs north and south from W. Cypress Avenue to W. Home Place. Parking for each unit is provided in garages accessed by a drive aisle between the two buildings.

BACKGROUND

The site is currently vacant. Two single-family dwellings once existed on the site, one on each of the lots. The homes appear on Sanborn maps between the years of 1900 and 1908. City building permit records show that the homes (516 and 522 Cajon Street) were demolished in 1974 and 1975. City records provide no indication of their architectural style.

On August 15, 2024, development applications were submitted for the proposed project. Required entitlements for the project include the following:

- Commission Review and Approval No. 972 for site plan and architectural review
- Tentative Tract Map No. TBD for an eight-unit condominium subdivision
- Conditional Use Permit No. 1201 to establish the use of the site for condominiums pursuant to RMC 18.156.300

The site is within the “Early Redlands Historic and Scenic District” (HD3). New development on vacant sites and subdivisions within any of the City’s Historic and Scenic Preservation districts requires approval of a Certificate of Appropriateness. In addition to the applications listed above a Certificate of Appropriateness application has been submitted. When a project requires a Certificate of Appropriateness and a land use

decision by the Planning Commission, the application will be forwarded to the Planning Commission for recommendation prior to HSPC consideration.

This project is being presented to the HSPC as a design review item prior to presentation to the Planning Commission. The applicant is seeking input from the HSPC on the project's architecture and site design in relation to the Historic Architectural Design Guidelines. The applicant will incorporate the feedback provided into the project design prior to presentation to the Planning Commission. Following approval of the project's land use entitlements, it will return to the HSPC for final review and approval of the Certificate of Appropriateness.

ANALYSIS

A) Proposed Design

The building provides articulation and projections on the second and third stories, with Spanish Colonial Revival architectural details. The massing and façade articulation of the building is generally simple, and the building retains a rectangular shape. Each building is approximately 95 feet wide, 45 feet deep, and 31 feet tall. The upper story is larger in width and depth by approximately 5 feet on each side, cantilevered over the sides of the building, covering pathways below. The third story is placed behind the first-floor wall projecting from the center of the second floor. This creates a horizontally layered massing, where each floor varies from the next.

Massing of the building is symmetrical, both sides have the same volume and pattern. Other architectural details follow a similar pattern of symmetry with some variation. To break up some of that symmetry, different architectural details were placed on either side of the building. For example, windows on the middle projection on the second floor are differentiated by accent features (one window includes a brown upper trim while the other has pastel green wood shutters). Similarly, windows on one side of the building have wrought iron accents, while the other side does not.

The following Table provides a description of the details on each elevation.

Table 1: Summary of Architectural Features

	Front Elevation	Rear Elevation	Side Elevation
1st Floor	<ul style="list-style-type: none"> - 4 entrances with decorative stucco porches and wood doors - Private enclosed patios with French doors, surrounded by 40-inch high open wood fencing (Cajon St. side only) - 4 vinyl casement windows, white 	<ul style="list-style-type: none"> - 4 garage doors, brown, with two windows - Decorative stucco arches above each garage door 	<ul style="list-style-type: none"> - 2 double-hung vinyl windows, white
2nd Floor	<ul style="list-style-type: none"> - 2 covered balconies, with white wooden French doors, wood balustrades, and roof projection - 2 vinyl double-hung windows, white - 4 vinyl casement windows, white - 3 windows with decorative arches - Decorative window railings on two windows that are comprised of a brown stucco base with black wrought iron railing - Clay tile attic/gable vents 	<ul style="list-style-type: none"> - 4 double-hung vinyl windows, white - 2 casement vinyl windows, white - 2 windows - 2 wood shutters, pastel green - Rafter tails on the roofline 	<ul style="list-style-type: none"> - Three double hung white vinyl windows - Balcony with a stucco base and wood balustrade - Clay tile attic/gable vents - Partial rafter tails
3rd Floor	<ul style="list-style-type: none"> - 1 vinyl double-hung window, white - One vinyl casement window, white - 4 smaller vinyl double-hung windows, white - Wrought iron window guard on the casement window - Decorative arch on the double-hung window 	<ul style="list-style-type: none"> - 2 vinyl casement windows, white - 4 smaller vinyl double-hung windows, white - Black wrought Iron window guard for one window - Wood shutters, pastel green 	

	- Brown upper window trim on the casement window	- Rafter tails on the roofline	
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B) Historic Architectural Design Guidelines; “Spanish Colonial Revival”

The Spanish Colonial Revival style of architecture, finding greater popularity in 1910’s and 1920’s, has since been a prominent style throughout Southern California and is primarily used for residential uses and more recently large multi-family and mixed used projects. The proposal includes several architectural elements commonly found in Spanish Colonial Revival architecture as detailed in Appendix B (pg. 230) of the Architectural Design Guidelines. The guidelines list defining characteristics of the style, as follows.

“The style’s adaptability also lent its application to a variety of building types, including single- and multi-family residences, commercial properties, and institutional buildings. Spanish Colonial Revival architecture often borrowed from other styles such as Churrigueresque, Italian Villa Revival, Gothic Revival, Moorish Revival, or Art Deco. The style is characterized by its complex building forms, stucco-clad wall surfaces, and clay tile roofs. The Spanish Colonial Revival style remained popular through the 1930s, with later versions simpler in form and ornamentation.

Character-defining features of Spanish Colonial Revival architecture include:

- Complex massing and asymmetrical façades
- Incorporation of patios, courtyards, loggias, or covered porches and/or balconies
- Low-pitched gable or hipped roofs with clay tile roofing
- Coved, molded, or wood-bracketed eaves
- Towers or turrets
- Stucco wall cladding
- Arched window and door openings
- Single and paired multi-paned windows (predominantly casement)
- Decorative stucco or tile vents
- Use of secondary materials, including wrought iron, wood, cast stone, terra cotta, and polychromatic tile.”

Figure 1: Example of “Spanish Colonial Revival” Architecture



Source: City of Redlands *Historic Architectural Design Guidelines*, pg. 230.

The following table compares the proposed design to the “Spanish Colonial Revival” Design Guidelines.

Table 2: “Spanish Colonial Revival” Design Guidelines (Chapter 8)

Guidelines	Proposed Design
<ul style="list-style-type: none"> Complex massing and asymmetrical façades 	<p>The project includes projections but does not include complex massing or asymmetrical facades.</p> <p>The building reads with strong symmetry, where projections, windows, and doors are mirrored across a middle vertical axis.</p> <p>Some asymmetry is seen with architectural trim details; such as window trims only on one side of the building, etc.</p>
<ul style="list-style-type: none"> Incorporation of patios, courtyards, loggias, or covered porches and/or balconies 	<p>The project includes patios, courtyards, covered porches, and balconies.</p>

<ul style="list-style-type: none"> • Low-pitched gable or hipped roofs with clay tile roofing 	<p>The project includes roofs with 2:12 pitches and terracotta tiles</p>
<ul style="list-style-type: none"> • Coved, molded, or wood-bracketed eaves 	<p>Small eaves with wood brackets are proposed</p>
<ul style="list-style-type: none"> • Towers or turrets 	<p>There are no towers or turrets introduced, accents like this are recommended but many modern versions of this style do not have these specific features.</p>
<ul style="list-style-type: none"> • Stucco wall cladding 	<p>Walls are white stucco (LaHabra Stucco x-50 Crystal White)</p>
<ul style="list-style-type: none"> • Arched window and door openings 	<p>Doors and windows have arched features and details throughout.</p>
<ul style="list-style-type: none"> • Single and paired multi-paned windows (predominantly casement) 	<p>-Mostly casement and double hung multi-paned windows throughout</p>
<ul style="list-style-type: none"> • Decorative stucco or tile vents 	<p>Tile vents are placed on the gables throughout.</p>
<ul style="list-style-type: none"> • Use of secondary materials, including wrought iron, wood, cast stone, terra cotta, and polychromatic tile. • 	<p>Wrought iron, wood, cast stone, and terra cotta are included materials</p>

C) Historic Architectural Design Guidelines; “Guidelines for New Buildings and Non-Contributing Buildings in Historic Districts”

The City of Redlands *Historic Architectural Design Guidelines* were adopted on September 3, 2024. Chapter 8, entitled “Guidelines for New Buildings and Non-Contributing Buildings in Historic Districts” is the relevant chapter for purposes of this review.

Table 2 summarizes the Site Design Guidelines for new buildings within historic districts and the project’s consistency.

Table 3: Site Design Guidelines (Chapter 8)

Guidelines	Proposed Design
<p>Building Placement:</p> <ul style="list-style-type: none"> • Place a new residence to reflect the established setbacks along the block. • Where front setbacks are uniform, locate the building in alignment with its neighbors. • Where front setbacks vary, locate the building within the established range of setbacks on the block 	<p>The building setback is similar with the rest of the block. Buildings on this block have setbacks of 25’ to 15’, with the average being 20’. The proposed setback is 20’</p>
<p>Side Setbacks:</p> <ul style="list-style-type: none"> • Locate the new residence to maintain the side setback spacing pattern on the block as discernible from the public right-of-way. 	<p>The side setbacks follow the spacing pattern, and while the site and structure are wider than the average lot on the block, side setbacks are still proportional in width and scale.</p>
<p>Orientation:</p> <ul style="list-style-type: none"> • In general, a new residence should be oriented to face the street in residential historic districts. • Locate the primary entrance, consisting of a porch or entrance stoop, on the front façade of the building, where it is highly visible. • Where there is more than one building on a site, orient at least one of the buildings to face the street. The other building(s) may face the street or a common courtyard area. 	<p>There are two buildings proposed, one faces the street and occupies most of the street frontage. The second building faces the alley and a common open space are for the property.</p>

<p>Garage Placement:</p> <ul style="list-style-type: none">• Locate a garage or other ancillary structure to be consistent with the location of other ancillary structures within the surrounding block/neighborhood. Typically, garages are either detached, located at the rear of the property, or attached, flush with, or projecting from the primary façade of the residence.	<p>Garages are located off of an internal drive aisle and will not be visible from the Cajon Street right of way.</p>
<p>Vehicular Access:</p> <ul style="list-style-type: none">• Place a driveway to be consistent with the placement of other driveways within the historic district.• Driveways may be located alongside the residence, leading to a rear detached garage, or they may be aligned with the residence, leading to an attached garage.• Avoid constructing a new curb cut or driveway where an alley can provide access to a rear detached garage. In order to maintain the historic streetscape and yard patterns of the historic district, avoid widening an existing curb cut or driveway.• Design a new driveway to be compatible with the material composition, width, and overall appearance of existing historic driveways within the district.	<p>Vehicle access to the property is from the rear. No new curb cuts on Cajon Street are proposed.</p>

<p>Pedestrian Access:</p> <ul style="list-style-type: none"> • Provide a clear discernible path from the new residence to the street. The walkways should either lead from the entrance directly to the sidewalk, or to a driveway that leads to the street. Its configuration should be consistent with the configuration of other walkways in the historic district. • Where multiple units are located on a site, create an internal walkway system that connects each unit entrance to a common walkway leading to the sidewalk. • Design a new walkway to be compatible with the material composition, width, and overall appearance of the walkways of adjacent historic properties. 	<p>Clear discernable paths to Cajon Street from all the units.</p>
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Table 4 summarizes the Building Design Guidelines for new buildings within historic districts as well as the project’s consistency.

Table 4: Building Design Guidelines (Chapter 8)

Guidelines	Proposed Design
<p>Scale and Massing:</p> <ul style="list-style-type: none"> • Design a new residential building to be compatible with the scale and massing of historic buildings in the surrounding district. • A new residence should be within the range of historic heights (typically one or two stories) in the surrounding block/neighborhood. • Incorporate building forms and volumes like those of surrounding historic properties. Avoid using overly complex building forms or a wide variety of forms than are typical of adjacent historic buildings. Similarly, avoid designing overly simplified, boxy building forms when they are not typical of the surrounding historic district. 	<p>The site retains a scale and massing that is proportional to the neighborhood. Most surrounding buildings are two stories, some have attic spaces and pitched roofs that give the height and semblance of three stories, making the height of the proposed project like that of the neighborhood.</p> <p>The project does not present historic single-family dimensions because of the overall rectangular mass of the building and its lack of large-scale articulation. While each unit is expressed with doors, porches, and patios, it presents as one building.</p>

<ul style="list-style-type: none"> • Locate and proportion building components to reflect similar components on adjacent historic properties. For example, roof height/width, foundation height, floor-to-floor height, porch height/width, window height/ width, and door height/width should generally match the heights/widths of those components of surrounding historic residences. • Small-scale multi-family buildings should be designed in such a way that individual building units express historic single-family residential dimensions. For instance, incorporate a front porch for each unit when a porch is needed to maintain the typical streetscape and proportions of the surrounding historic block. 	<p>The projections on the second and third stories offer some delineation for each unit.</p>
<p>Roof Form:</p> <ul style="list-style-type: none"> • The building’s roof type and pitch should be compatible with the architectural style of the building. 	<p>The roof pitch of 2/12 and terra cotta material is compatible with the chosen architectural style of the building</p>
<p>Façade Composition:</p> <ul style="list-style-type: none"> • A new residential façade, particularly the primary façade and those most visible from the public right-of-way, should be designed with the same level of articulation as the façades of surrounding historic properties. • Articulate the façade(s) with architectural details that are compatible with the predominant architectural style(s) along the block. See Appendix B for more information about the character-defining features of architectural styles in Redlands. • Details should be simple in design and should complement, rather than visually compete with, the character of adjacent historic residences. 	<p>The proposed facades are as complex and varied as the rest of the street, specifically with windows, patios, and projections.</p> <p>Facades and details are simple in design and do not compete with nearby properties.</p>

<p>Architectural details that are more ornate than those found in the historic district are inappropriate.</p>	
<p>Entrance Porch or Stoop:</p> <ul style="list-style-type: none"> • Design a projecting or recessed entrance porch or stoop at the primary façade of the building. • The front porch/stoop should be one story in scale and oriented toward the street. • The front porch/stoop should be designed with the same level of articulation as those of surrounding historic properties. 	<p>The units on the primary façade of the building facing Cajon Street each have a porch that points to the street with similar articulation as the rest of the neighborhood</p>
<p>Exterior Materials:</p> <ul style="list-style-type: none"> • Use exterior materials that are compatible with the materials present in the historic district. • Choose materials that are the same or similar in finish, texture, and overall appearance as those used on adjacent historic residences. 	<p>The neighborhood and district do not have many examples of Spanish Colonial Revival to reference materials used, yet the materials proposed are consistent with the Historic Architectural Design Guidelines for Spanish Colonial Revival style</p>

C) Questions for the Commission

- Does the Commission find the proposed mass and form to be consistent with the Spanish Colonial Revival style (see Table 2)?
- Is the overall height (3 stories and 31’4”), massing, and rectangular form of the building out of scale for the site and the surrounding historic district (see Table 4)?
- The City’s Historic Architectural Guidelines for new construction mentions having small-scale multi-family buildings be designed in a way that individual units express historic single-family residential dimensions (Page 194 of Historic Architectural Design Guidelines). Does the Commission find that the proposed form of the building is consistent with the expressed intent that new multifamily buildings should appear to be similar to single-family scale and dimensions (see Table 4)?

D) Summary

Based on the above analysis, staff has questions regarding several elements of the proposed design in terms of consistency with the City's Historic Architectural Design Guidelines. Input from the Commission at this early stage of design review will assist both the applicant and staff with making any necessary revisions to arrive at consistency. The Commission may make recommendations for the applicant to consider architectural changes that would be more consistent with the Guidelines.

ENVIRONMENTAL REVIEW

If the proposal is deemed to be consistent with the applicable Secretary of Interior Standards and the City's *Historic Architectural Design Guidelines*, then the project's potential impact on the surrounding historic district may be less than significant and exempt from environmental review subject (CEQA Guidelines Section 15064.5(b)(3)).

If the proposal is deemed to be not consistent with the applicable Secretary of Interior Standards or the City's *Historic Architectural Design Guidelines*, then the proposal may not qualify for an exemption from environmental review. Significant changes to historic resources (i.e., the surrounding historic district in this case) are a potentially significant impact on the environment (CEQA Guidelines Sections 15064.5(b)(1) and 15064.5(b)(2)).

STAFF RECOMMENDATION

Staff recommends that the Commission review the proposed architectural design and provide comments and recommendations to the applicant regarding consistency with the City's *Historic Architectural Design Guidelines*.

MOTION

No motion is necessary for this item at this time, as no action is being taken on the permit.

If the Commission reaches a majority opinion and desires to make a formal motion, then a motion may be made (and specific direction should be articulated to the applicant in terms of architectural changes).