
APPENDIX C2

Masterplan Development Permit Submittal

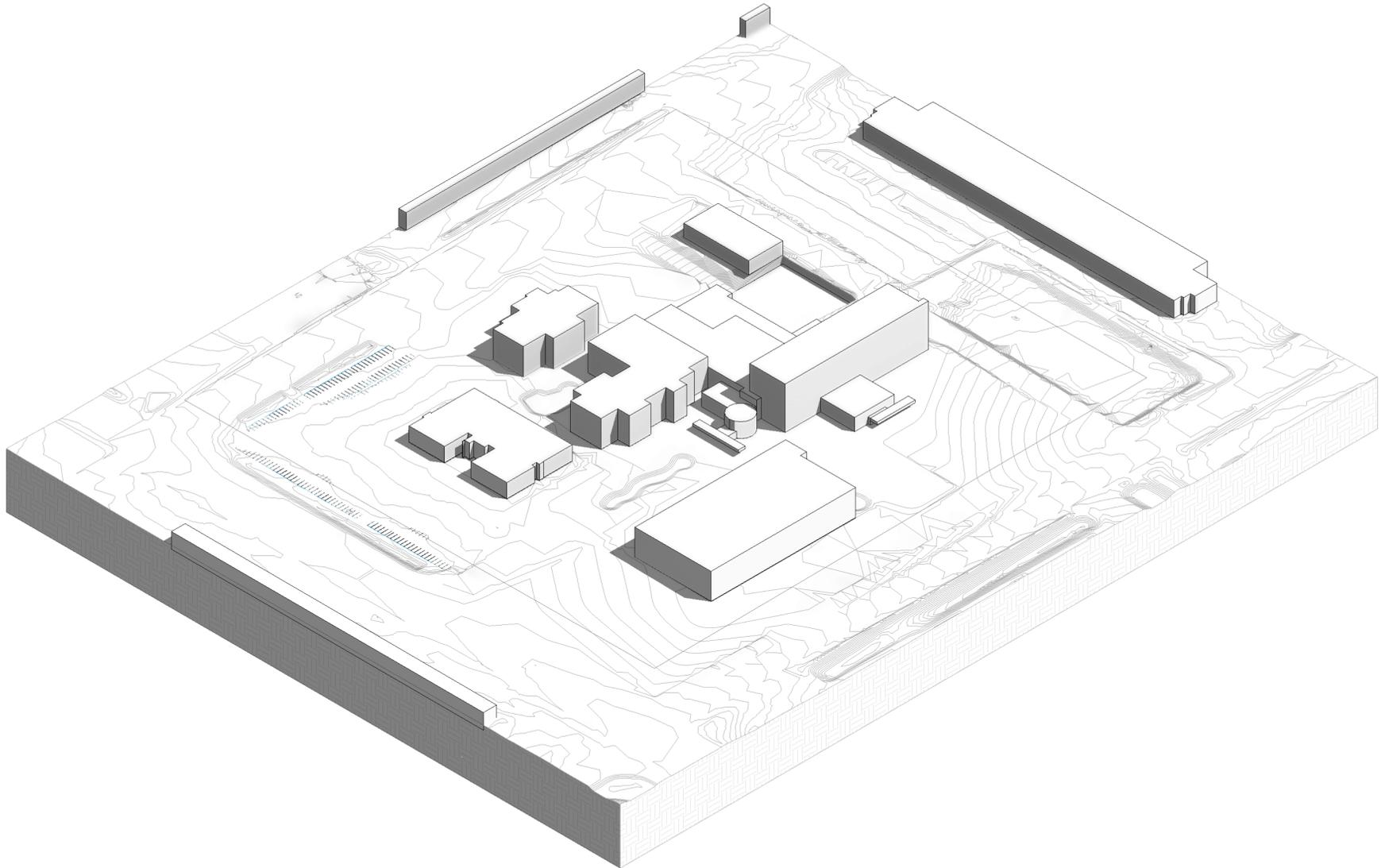
KAISER PERMANENTE REDLANDS MEDICAL CENTER

1301 California Street, Redlands, CA 92374
Assessor's Parcel Number: 0167-441-07

DEVELOPMENT PLAN SUBMITTAL

July 24, 2024

KP Project No: CAP026569



KAISER PERMANENTE
REDLANDS MEDICAL CENTER
1301 California Street, Redlands, CA 92374
Assessor's Parcel Number: 0167-441-07

APPLICANT:
Kaiser Permanente
393 E. Walnut Street, 4th Floor
Pasadena, CA 91188
Deborah Han, Senior Land Use Manager - National Facilities...
626-344-4519
deborah.h.wong@kp.org

ARCHITECT:
CO Architects
5750 Wilshire Blvd., Suite 550
Los Angeles, CA 90036
Tom Chessum, FAIA, Principal
213-379-5583
tchessum@coarchitects.com

CIVIL ENGINEER:
Michael Baker International
9755 Clairemont Mesa Blvd., Suite 100
San Diego, CA 92124
Scott Davis P.E., Assoc. Vice President / Project Manager
858-805-5784
scottdavis@mbakerintl.com

LANDSCAPE ARCHITECT:
Ridge Landscape Architects
8841 Research Dr., Suite 200
Irvine, CA 92618
Andrew Neubauer, Senior Project Manager / Designer
949-387-1323 ext. 23
andrew@ridgela.com

ARCHITECTUAL

A 0.00	COVER SHEET
A 0.10	PROJECT INFORMATION
A 1.10	EXISTING SITE PLAN
A 1.11	PHASE 1 SITE PLAN
A 1.12	PHASE 2 SITE PLAN
A 1.13	PHASE 3 SITE PLAN
A 1.14	PHASE 4 SITE PLAN
A 1.15	PHASE 4 ROOF PLAN
A 1.20	CONSTRUCTION PHASING DIAGRAMS
A 2.10	ASC / MOB 2 LEVEL 1 FLOOR PLAN
A 2.11	ASC / MOB 2 LEVEL 2 FLOOR PLAN
A 2.12	ASC / MOB 2 LEVEL 3 FLOOR PLAN
A 2.13	ASC / MOB 2 LEVEL 4 FLOOR PLAN
A 2.14	ASC / MOB 2 ROOF PLAN
A 3.10	ASC / MOB 2 ELEVATIONS
A 3.11A	HOSPITAL PHASE 2 ELEVATIONS
A 3.11B	HOSPITAL PHASE 2 ELEVATIONS
A 3.12	PARKING STRUCTURE ELEVATIONS
A 3.13	MOB 3 ELEVATIONS
A 3.14	HOSPITAL PHASE 4 ELEVATIONS
A 3.20	SITE SECTIONS
A 3.21	SITE & VICINITY SECTIONS

CIVIL

C1.00	EXISTING CONDITIONS
C1.01	EXISTING UTILITIES
C2.00	SITE PHASING - 1 SITE PLAN
C2.01	SITE PHASING - 1 GRADING PLAN
C2.02	SITE PHASING - 1 UTILITY PLAN
C2.03	SITE PHASING - 1 BMP PLAN
C2.04	SITE PHASING - 1 FIRE PROTECTION PLAN
C3.00	SITE PHASING - 2 SITE PLAN
C3.01	SITE PHASING - 2 GRADING PLAN
C3.02	SITE PHASING - 2 UTILITY PLAN
C3.03	SITE PHASING - 2 BMP PLAN
C3.04	SITE PHASING - 2 FIRE PROTECTION PLAN
C4.00	SITE PHASING - 3 SITE PLAN
C4.01	SITE PHASING - 3 GRADING PLAN
C4.02	SITE PHASING - 3 UTILITY PLAN
C4.03	SITE PHASING - 3 BMP PLAN
C4.04	SITE PHASING - 3 FIRE PROTECTION PLAN
C5.00	SITE PHASING - 4 SITE PLAN
C5.01	SITE PHASING - 4 GRADING PLAN
C5.02	SITE PHASING - 4 UTILITY PLAN
C5.03	SITE PHASING - 4 BMP PLAN
C5.04	SITE PHASING - 4 FIRE PROTECTION PLAN
C6.00	CROSS SECTIONS
C6.01	CROSS SECTIONS
C6.02	CROSS SECTIONS
C6.03	CROSS SECTIONS

LANDSCAPE

L1.01	PRELIMINARY LANDSCAPE PLAN (PHASE 1)
L1.02	PRELIMINARY LANDSCAPE PLAN (PHASE 2)
L1.03	PRELIMINARY LANDSCAPE PLAN (PHASE 3)
L1.04	PRELIMINARY LANDSCAPE PLAN (PHASE 4)
L2.01	CONCEPTUAL LANDSCAPE IMAGERY
L3.01	EXISTING TREE DISPOSITION PLAN

COVER SHEET

July 24, 2024

CO ARCHITECTS



REDLANDS MEDICAL CENTER

Sheet: **A 0.00**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ASSESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	

PROJECT INFORMATION

LOCATION:	1301 California Street Redlands, CA 92374
APN:	0167-441-07
ZONING:	Concept Plan 1 District
SPECIFIC PLAN:	East Valley Corridor

PROJECT DESCRIPTION:	PURPOSE:	BUILDING AREA:	FOOTPRINT AREA:	BUILDING HEIGHT:	NUMBER OF LEVELS:	ROOF EQUIP. SCREEN:	BUILDING TYPE:	BUILDING OCCUPANCY:
Existing MOB 1	Medical Office	120,000 SF	40,000 SF	Existing	4 Levels	6'-6"	Existing	Existing
ASC/MOB 2	Ambulatory Surgery / Medical Office	165,000 SF	36,000 SF	62'-0" to Roof Level	7 Levels	8'-1"	Type IA / Full Sprinkler	Group I-2.1, B
Hospital	213 Bed Acute Care Hospital	400,000 SF	122,000 SF	107'-0" to Roof Level	7 Levels and Basement	15'-0"	Type IA / Full Sprinkler	Group I-2, B, A-2, A-3, F-1, S-2
Central Utility Plant	Mechanical and Electrical Utilities	35,000 SF	15,000 SF	18'-0" to Roof Level	2 Levels and Basement	To Be Determined	Type IIB / Full Sprinkler	Group B, F-1, S-1, S-2
MOB 3	Medical Office	83,000 SF	20,000 SF	62'-0" to Roof level	4 Levels	7'-6"	Type IIB / Full Sprinkler	Group B
Hospital Addition	108 Bed Hospital Addition	180,000 SF	30,000 SF	77'-0" to Roof Level	5 Levels and Basement	15'-0"	Type IA / Full Sprinkler	Group I-2, B, A-2, A-3, F-1, S-2
Total Building Area		983,000 SF	263,000 SF					
	(Excluding Central Utility Plant)	948,000 SF						
Site Area		1,590,580 SF						
Existing Developed Site Area		420,000 SF						
FAR:	.596 (Excludes Central Utility Plant)							

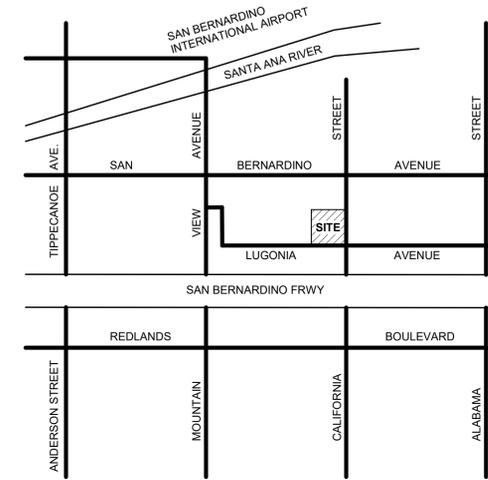
PARKING PROVISION:	PARKING REQUIREMENT:	PARKING DEMAND:	PARKING REQUIRED:	PARKING PROVIDED:
Existing MOB 1	5 PER 1,000 sf	120,000 SF	600	600
ASC/MOB 2	5 PER 1,000 sf	165,000 SF	825	825
Hospital	1 PER BED / 1 PER PEAK STAFF	213 BEDS / 501 STAFF	714	714
Central Utility Plant	NA	NA	0	0
MOB 3	5 PER 1,000 sf	83,000 SF	415	415
Hospital Addition	1 PER BED / 1 PER PEAK STAFF	108 BEDS / 49 STAFF	157	157
Excess			92	92
			2,711	2,803

LIGHTING REQUIREMENTS:

- A. Parking and driveway lighting shall provide 0.5 foot-candle minimum uniform lighting.
- B. Pedestrian walkways and plazas, building entries, driveway entries, drop-offs and stairways and grade changes shall be lighted.
- C. Parking lot fixtures / poles shall be 30-foot high maximum.
- D. Pedestrian walkway fixtures / poles shall be 12-foot high maximum.
- E. All light fixtures shall be concealed source fixtures.
- F. Security lighting shall be shielded and exterior wall-mounted flood lights are prohibited.

GENERAL NOTES:

- A. Roof top radio, TV microwave antenna or other antenna are prohibited above roof parapet or screen.
- B. Loading Area for Hospital is depressed 20-feet to Basement Level including a minimum of 5 loading docks, vehicle turning and ramping.
- C. Parking stalls shall be 9-foot wide by 19-foot deep stalls with 26-foot wide aisles for 90-degree parking.
- D. Parallel spaces shall be 8-foot wide by 24-foot deep.
- E. Parking bumpers are prohibited.
- F. Refuse Areas outside of the Hospital's depressed loading area shall be enclosed with a 6-foot high masonry wall on all sides with solid metal doors.
- G. All utility appurtenances shall be placed behind the building setback line and screened.
- H. All electrical power, low voltage and information technology distribution shall be installed underground.
- I. Bicycle racks shall be provided at a rate of 1 per 30 parking spaces provided at each phase of development.
- J. Employee vanpool and rideshare parking spaces shall be designated near employee building entrances at a rate of 1 per 100 spaces or at a rate of 10 per 100 employees, whichever is greater.



VICINITY MAP

NOT TO SCALE

PROJECT INFORMATION

1" = 200'-0"

July 24, 2024

CO ARCHITECTS

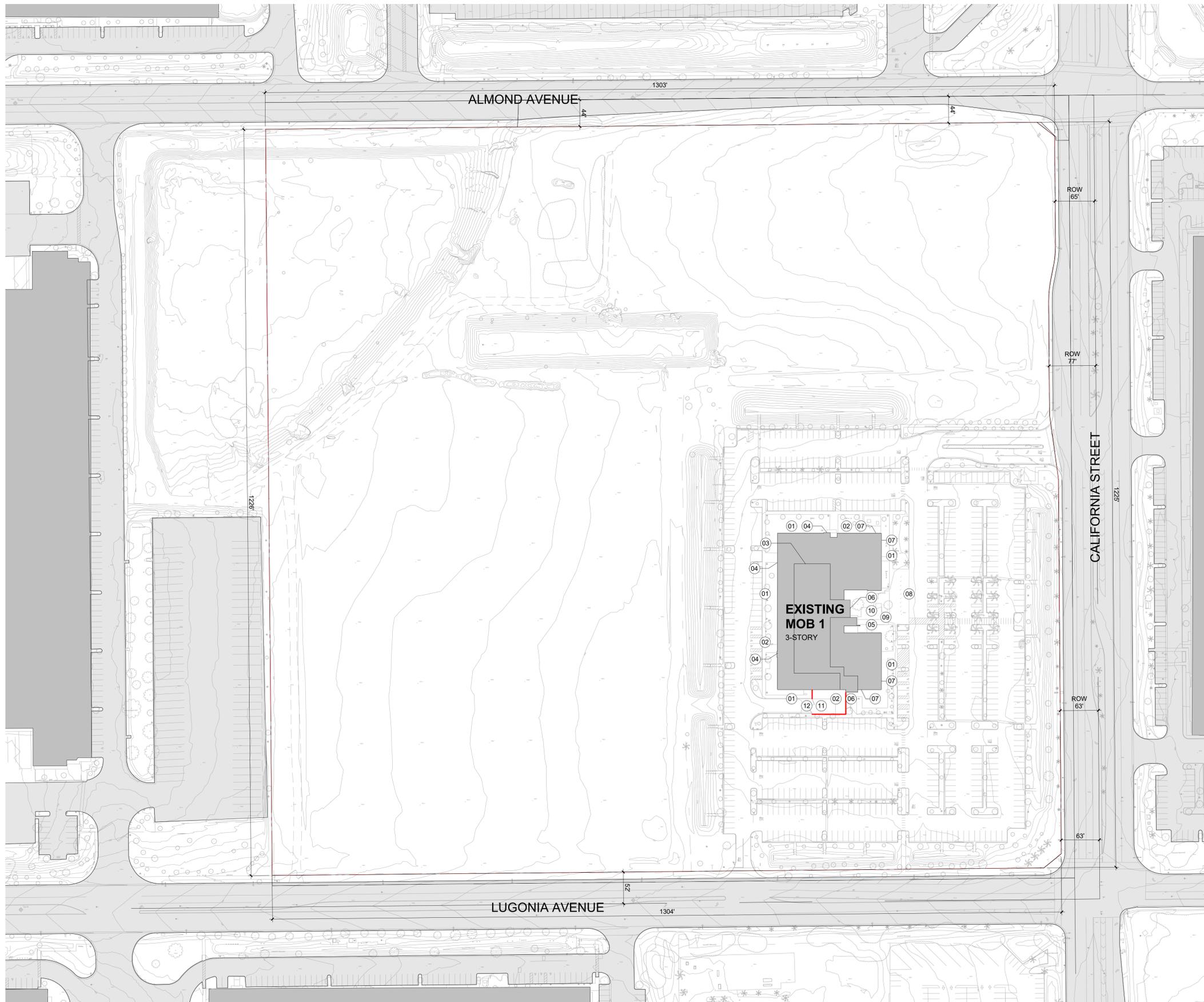


REDLANDS MEDICAL CENTER

Sheet: **A 0.10**

CITY OF REDLANDS

Site Development Plan Number:	
OWNER: Kaiser Foundation Hospitals	PHONE: 626.405.6333
ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188	
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	
ZONE: CR ZONE	ACCESSOR'S PARCEL NUMBER: 0167-441-07



EXISTING MOB 1 MATERIAL NOTES:

- ① PAINTED PLASTER (45'-0")
- ② PAINTED PLASTER (47'-0")
- ③ SCREEN WALL WITH METAL SIDING (7'-0")
- ④ SLATE TILE WALL SYSTEM (12'-5.5")
- ⑤ STOREFRONT / CURTAINWALL SYSTEM (44'-4")
- ⑥ METAL PANEL (54'-0")
- ⑦ METAL PANEL (8'-0")
- ⑧ CONCRETE BOLLARDS (24")
- ⑨ FREESTANDING COURT WALL (12'-6")
- ⑩ CAST IN PLACE CONCRETE SEATWALL (18")
- ⑪ CMU BLOCK WALL (10'-0")
- ⑫ IRON GATE (8'-0")

2 EXISTING SITE - OVERALL
1" = 80'-0"

EXISTING SITE PLAN

1" = 80'-0"

July 24, 2024

CO ARCHITECTS

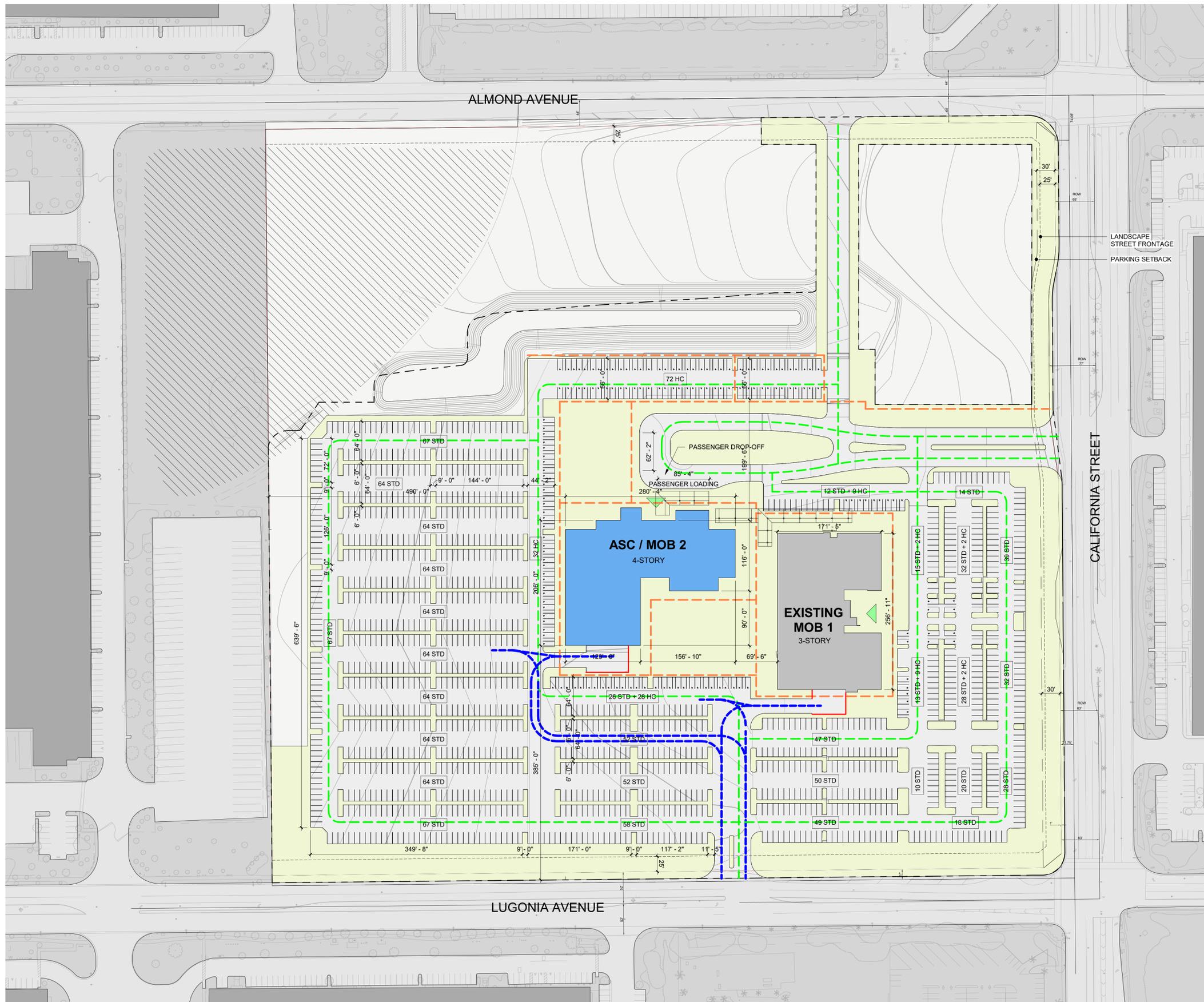


REDLANDS MEDICAL CENTER

Sheet: **A 1.10**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



- CIRCULATION LEGEND**
- AMBULANCE ROUTE
 - VEHICLE ACCESS
 - SERVICE ROUTE
 - PEDESTRIAN PATH

- PHASING LEGEND**
- COMPLETE/PROPOSED
 - EXISTING

- SITE PLAN LEGEND**
- DEVELOPED SITE AREA
 - LANDSCAPED AREA
 - SURFACE PARKING
 - PERIMETER WALL

PHASE 1

BUILDING DESCRIPTION:	AREA:
Existing MOB 1	120,000 SF
ASC/MOB 2	165,000 SF
Total Building Area	285,000 SF

SITE COVERAGE:	AREA:	% COVERAGE
Total Developed Site Area	1,194,000 SF	
Total Building Coverage	76,000 SF	
Total Landscaped Area	411,000 SF	34%
Total Surface Parking Area	601,000 SF	
Total Parking Area Landscape	85,000 SF	14%

PARKING DESCRIPTION:	PARKING TOTAL PROVIDED:				ADA PORTION OF TOTAL:		
	BUILDING:	REQUIREMENT:	DEMAND:	REQ.:	PROV.:	ADA #:	ADA PROV.:
Existing MOB 1	5 per 1,000 sf	120,000 SF	600	600	100%	60	60
ASC/MOB 2	5 per 1,000 sf	165,000...	825	825	100%	83	83
Excess						13	13
			1,425	1,464		156	156

1 SITE - PHASE 1
1" = 80'-0"

PHASE 1 SITE PLAN

As indicated

July 24, 2024

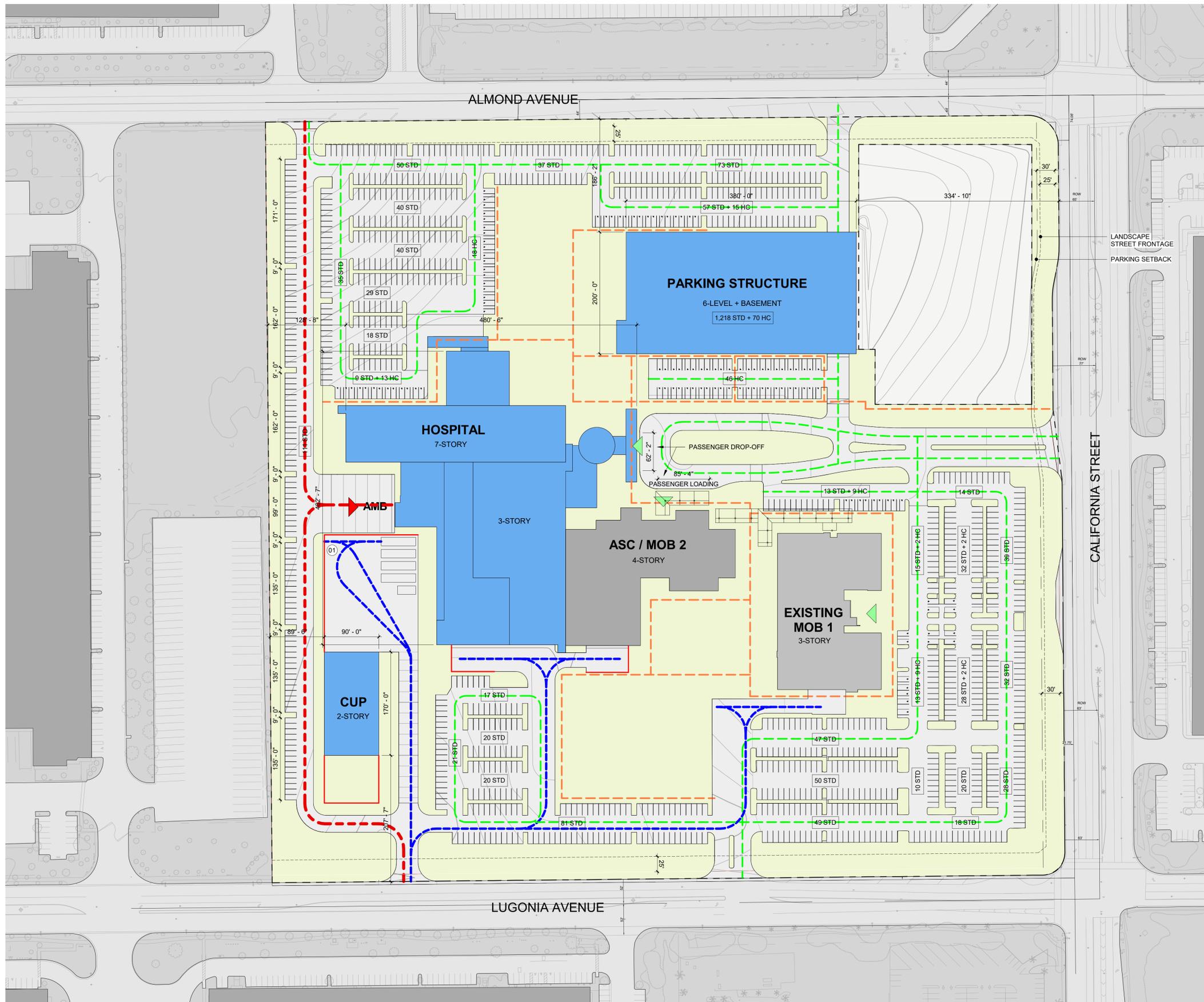


REDLANDS MEDICAL CENTER

Sheet: **A 1.11**

CITY OF REDLANDS

Site Development Plan Number:
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
 ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects
 PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)
 TYPE OF DEVELOPMENT: XXXXX LOCATION: 1301 California Street, Redlands, CA 92374
 ZONE: CR ZONE ACCESSOR'S PARCEL NUMBER: 0167-441-07



MATERIAL NOTES:

(01) CMU (6'-0")

CIRCULATION LEGEND

- AMBULANCE ROUTE
- VEHICLE ACCESS
- SERVICE ROUTE
- PEDESTRIAN PATH

PHASING LEGEND

- COMPLETE/PROPOSED
- EXISTING

SITE PLAN LEGEND

- DEVELOPED SITE AREA
- LANDSCAPED AREA
- SURFACE PARKING
- PERIMETER WALL

PHASE 2

BUILDING DESCRIPTION:	AREA:
Existing MOB 1	120,000 SF
ASC/MOB 2	165,000 SF
Hospital	400,000 SF
Central Utility Plant	35,000 SF
Total Building Area	720,000 SF

SITE COVERAGE:

	AREA:	% COVERAGE
Total Developed Site Area	1,513,000 SF	
Total Building Coverage	213,000 SF	
Total Landscaped Area	602,000 SF	40%
Total Surface Parking Area	557,000 SF	
Total Parking Area Landscape	85,000 SF	15%

BUILDING:	PARKING TOTAL PROVIDED:				ADA PORTION OF TOTAL:			
	REQUIREMENT:	DEMAND:	REQ:	PROV:	ADA %:	ADA #:	ADA PROV:	
Existing MOB 1	5 per 1,000 sf	120,000 SF	600	600	10%	60	60	
ASC/MOB 2	5 per 1,000 sf	165,000...	825	825	10%	83	83	
Hospital - 213 Beds	1 per Bed	213 Beds	213	213	2%	5	5	
	1 per peak Staff	501 Staff	501	501	2%	11	11	
Central Utility Plant	NA	NA	0	0	NA	0	0	
Excess				331		27	27	
			2,139	2,470		186	186	

1 SITE - PHASE 2
1" = 80'-0"

PHASE 2 SITE PLAN

As indicated

July 24, 2024

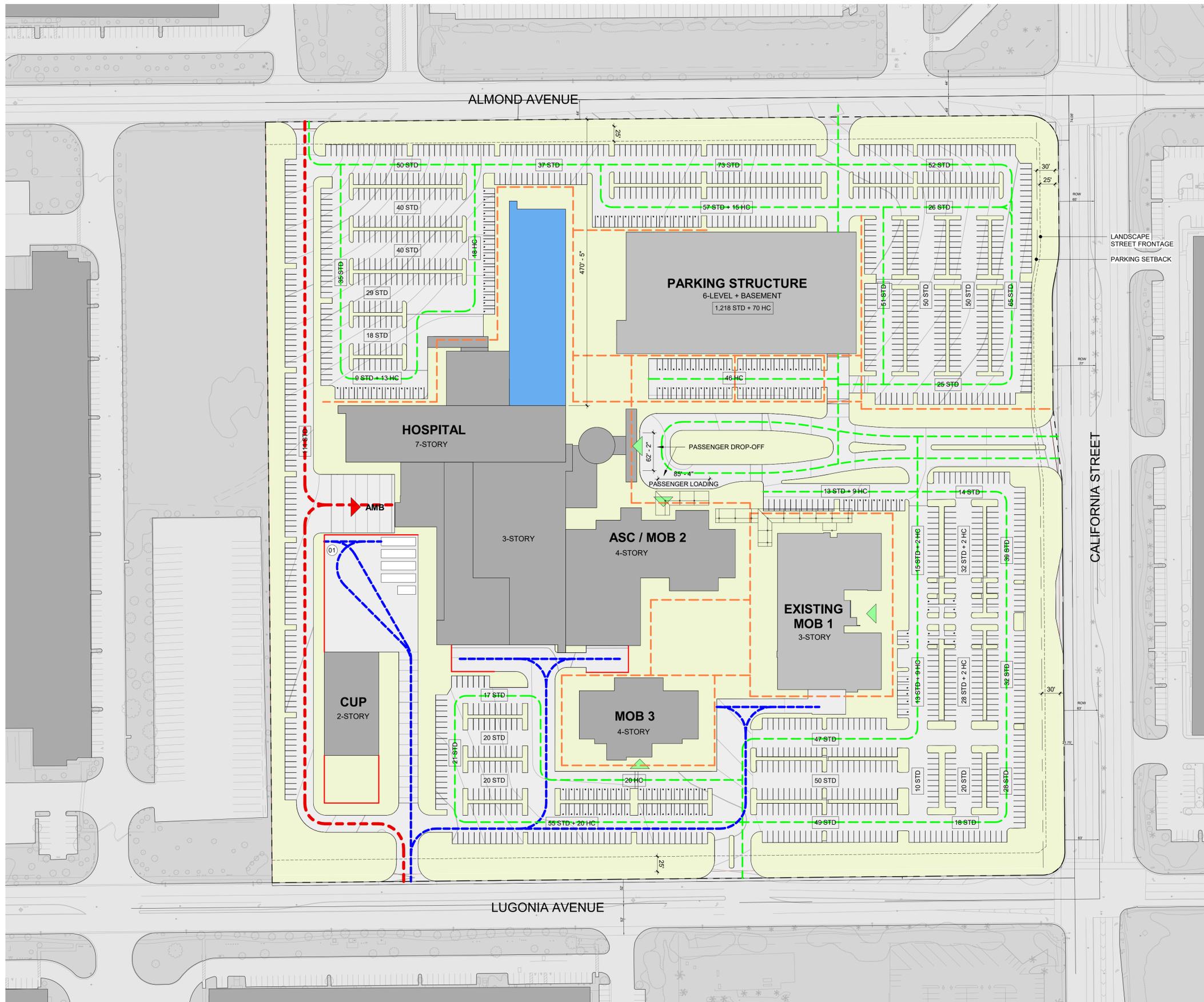


REDLANDS MEDICAL CENTER

Sheet: **A 1.12**

CITY OF REDLANDS

Site Development Plan Number:	OWNER: Kaiser Foundation Hospitals	PHONE: 626.405.6333
ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188	ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	TYPE OF DEVELOPMENT: XXXXX	LOCATION: 1301 California Street, Redlands, CA 92374
ZONE: CR ZONE		ACCESSOR'S PARCEL NUMBER: 0167-441-07



MATERIAL NOTES:

(01) CMU (6'-0")

CIRCULATION LEGEND

- AMBULANCE ROUTE
- VEHICLE ACCESS
- SERVICE ROUTE
- PEDESTRIAN PATH

PHASING LEGEND

- COMPLETE/PROPOSED
- EXISTING

SITE PLAN LEGEND

- DEVELOPED SITE AREA
- LANDSCAPED AREA
- SURFACE PARKING
- PERIMETER WALL

PHASE 4

BUILDING DESCRIPTION:	AREA:
Existing MOB 1	120,000 SF
ASC/MOB 2	165,000 SF
Hospital	400,000 SF
Central Utility Plant	35,000 SF
MOB 3	83,000 SF
Hospital Addition	180,000 SF
Total Building Area	983,000 SF

SITE COVERAGE:	AREA:	% COVERAGE
Total Developed Site Area	1,632,000 SF	
Total Building Coverage	263,000 SF	
Total Landscaped Area	563,000 SF	34%
Total Surface Parking Area	685,000 SF	
Total Parking Area Landscape	102,000 SF	15%

PARKING DESCRIPTION:	PARKING TOTAL PROVIDED:	REQUIREMENT:			DAND: REQ: PROV:			ADA PORTION OF TOTAL:		
		REQUIREMENT:	DEMAND:	REQ:	REQ:	PROV:	ADA %:	ADA #:	ADA PROV:	
Existing MOB 1	5 per 1,000 sf	120,000 SF	600	600	10%	60	60			
ASC/MOB 2	5 per 1,000 sf	165,000...	825	825	10%	83	83			
Hospital - 213 Beds	1 per Bed	213 Beds	213	213	2%	5	5			
	1 per peak Staff	501 Staff	501	501	2%	11	11			
Central Utility Plant	NA	NA	0	0	NA	0	0			
MOB 3	5 per 1,000 sf	83,000 SF	415	415	10%	42	42			
Hospital Addition - 108 Beds	1 per Bed	108 Beds	108	108	2%	3	3			
	1 per peak Staff	49 Staff	49	49	2%	1	1			
Excess			2,711	2,803		226	226			

1 SITE - PHASE 4
1" = 80'-0"

PHASE 4 SITE PLAN

As indicated

July 24, 2024

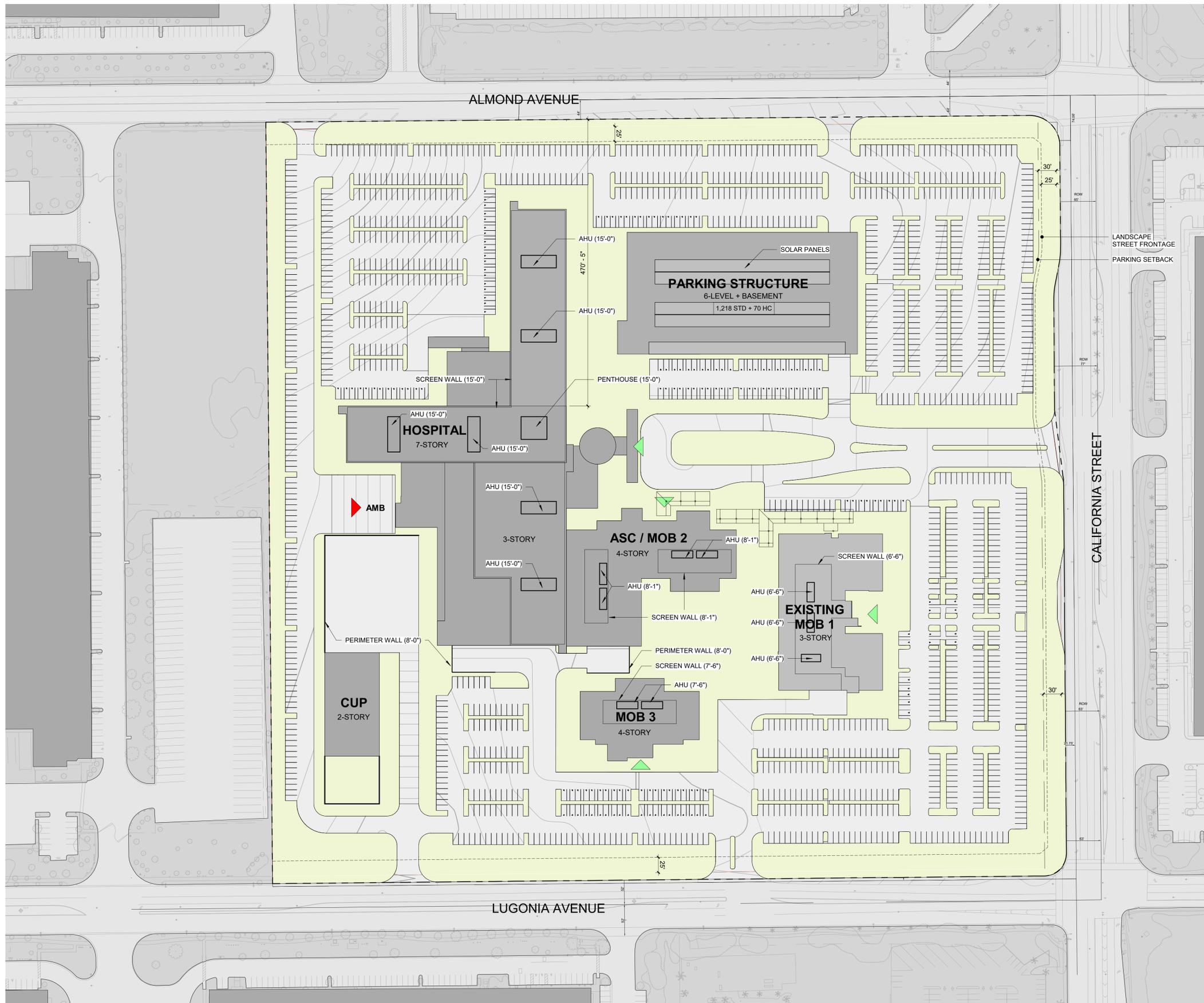


REDLANDS MEDICAL CENTER

Sheet: **A 1.14**

CITY OF REDLANDS

Site Development Plan Number:	OWNER: Kaiser Foundation Hospitals	PHONE: 626.405.6333
ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188	ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	TYPE OF DEVELOPMENT: XXXXX	LOCATION: 1301 California Street, Redlands, CA 92374
ZONE: CR ZONE		ACCESSOR'S PARCEL NUMBER: 0167-441-07



1 SITE - ROOF
1" = 80'-0"

PHASE 4 ROOF PLAN

1" = 80'-0"

July 24, 2024

CO ARCHITECTS



REDLANDS MEDICAL CENTER

Sheet: **A 1.15**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



1 CONSTRUCTION PHASING - PHASE 1
1" = 200'-0"

Construction Phasing: **Phase 1A** is developed first to provide replacement of parking removed during **Phase 1B** construction. Construction Laydown area is used as necessary for construction activity.



2 CONSTRUCTION PHASING - PHASE 2
1" = 200'-0"

Construction Phasing: Phase 2A with Parking Structure developed first to provide excess parking for MOB 1, MOB 2 and contractor parking during construction. Construction Laydown area is used as necessary for construction activity.



3 CONSTRUCTION PHASING - PHASE 3
1" = 200'-0"

Construction Phasing: Excess parking from Phase 2 provides for construction parking.



4 CONSTRUCTION PHASING - PHASE 4
1" = 200'-0"

Construction Phasing: Excess parking from Phase 2 provides for construction parking.

CONSTRUCTION PHASING DIAGRAMS

1" = 200'-0"

July 24, 2024

CO ARCHITECTS



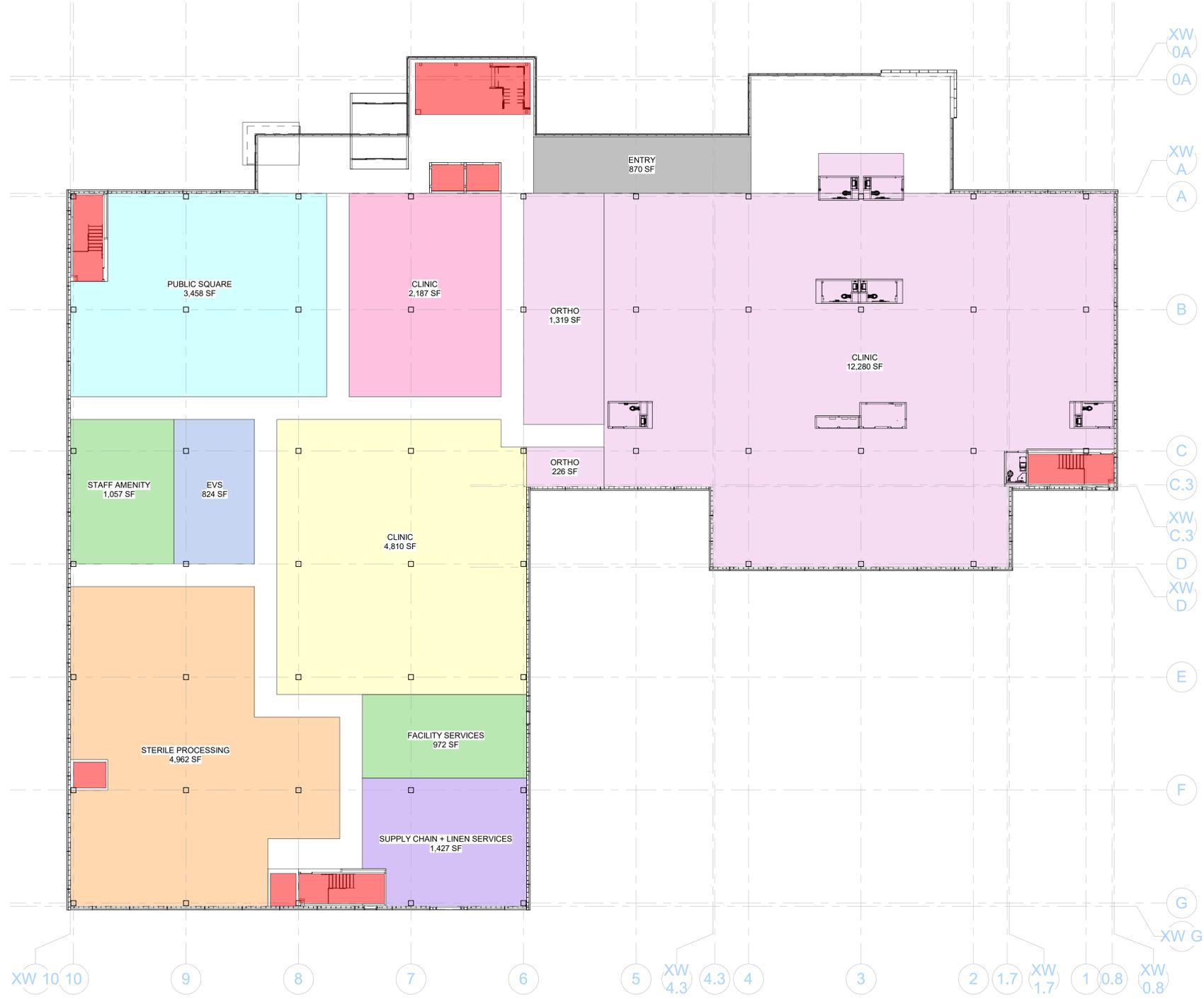
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: **A 1.20**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



ASC / MOB 2 LEVEL 1 FLOOR PLAN

1/16" = 1'-0"

July 24, 2024

CO ARCHITECTS



KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: A2.10

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



ASC / MOB 2 LEVEL 2 FLOOR PLAN

1/16" = 1'-0"

July 24, 2024

CO ARCHITECTS



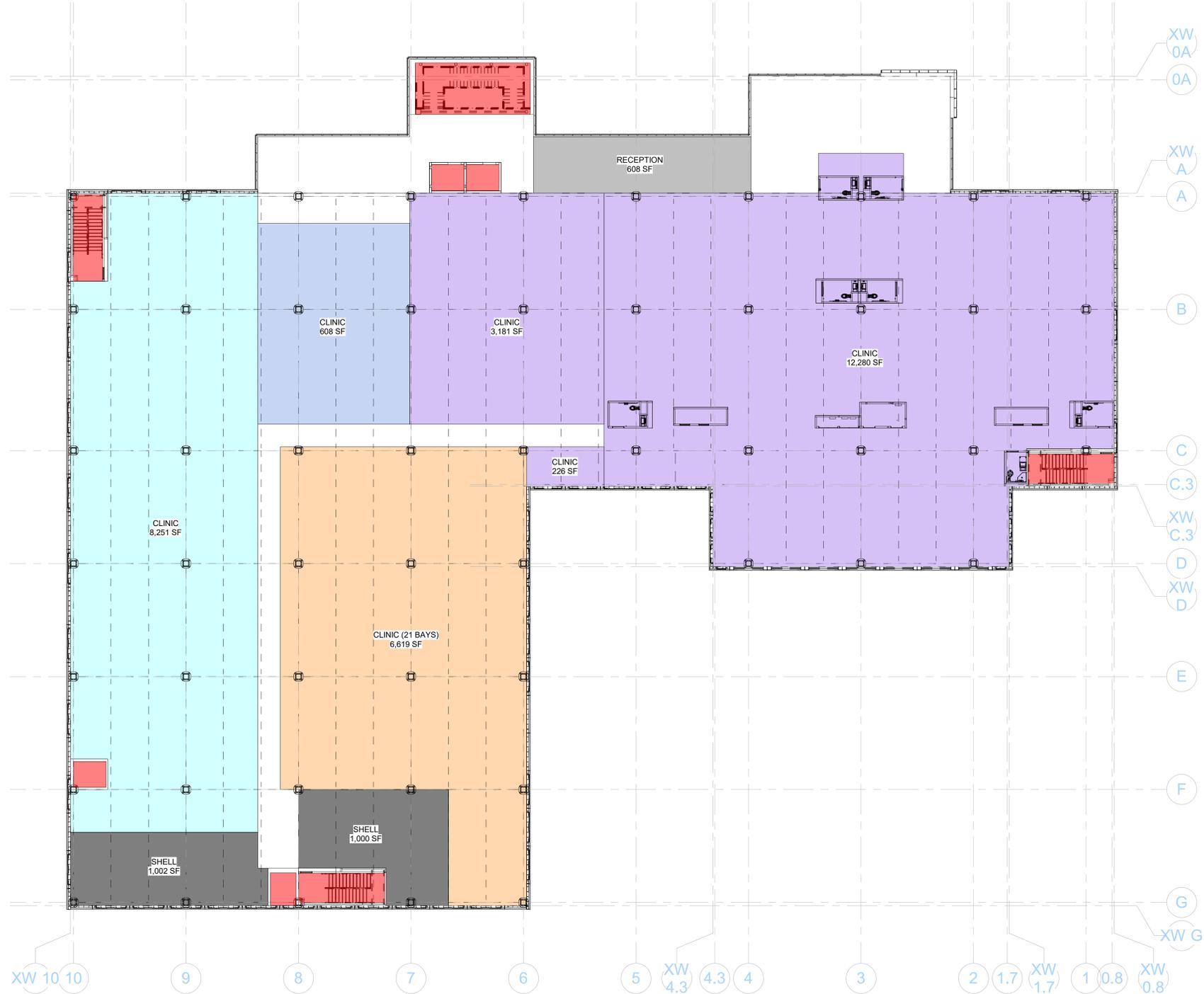
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: A2.11

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



ASC / MOB 2 LEVEL 3 FLOOR PLAN

1/16" = 1'-0"

July 24, 2024

CO ARCHITECTS



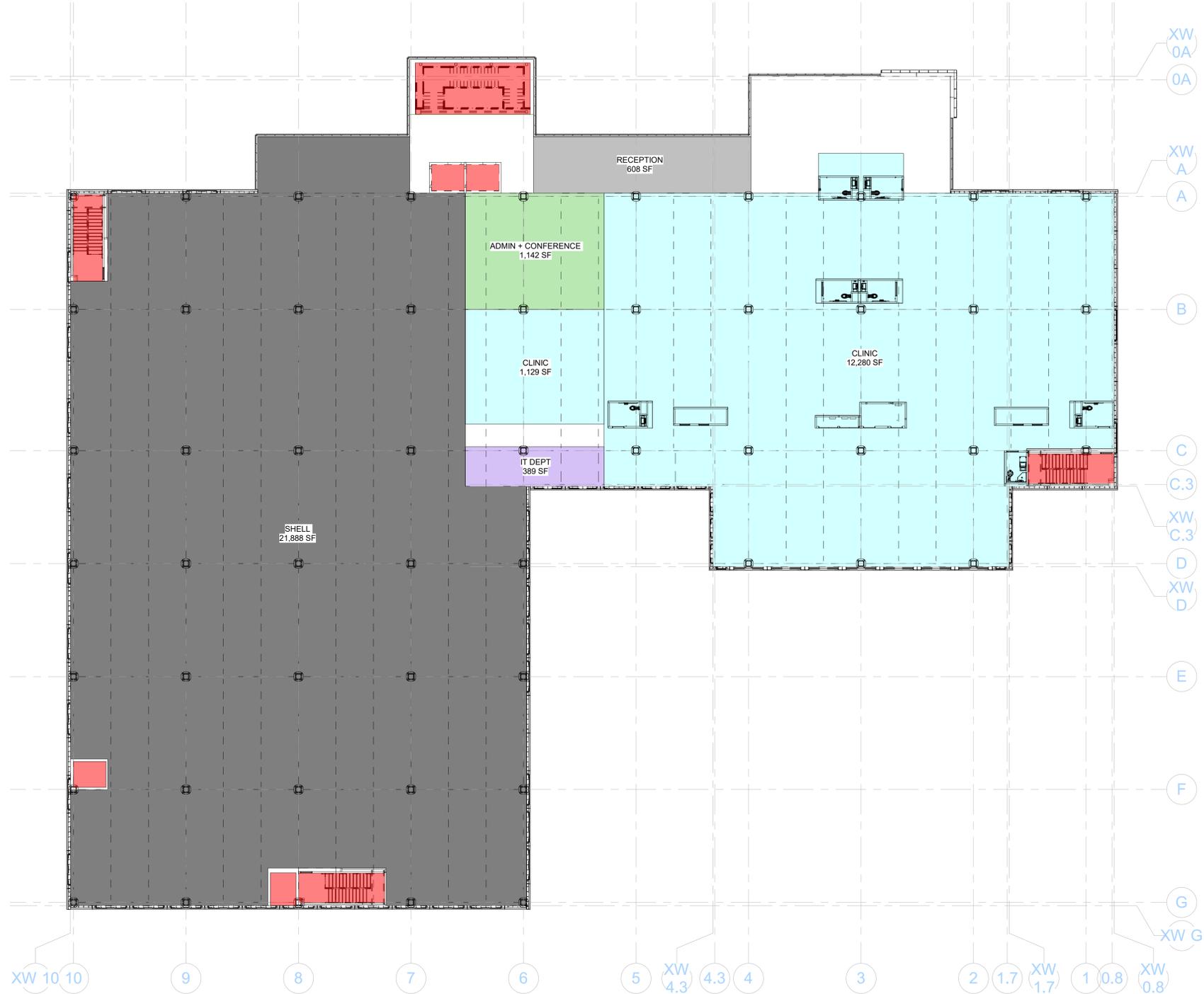
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: A2.12

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



ASC / MOB 2 LEVEL 4 FLOOR PLAN

1/16" = 1'-0"

July 24, 2024

CO ARCHITECTS



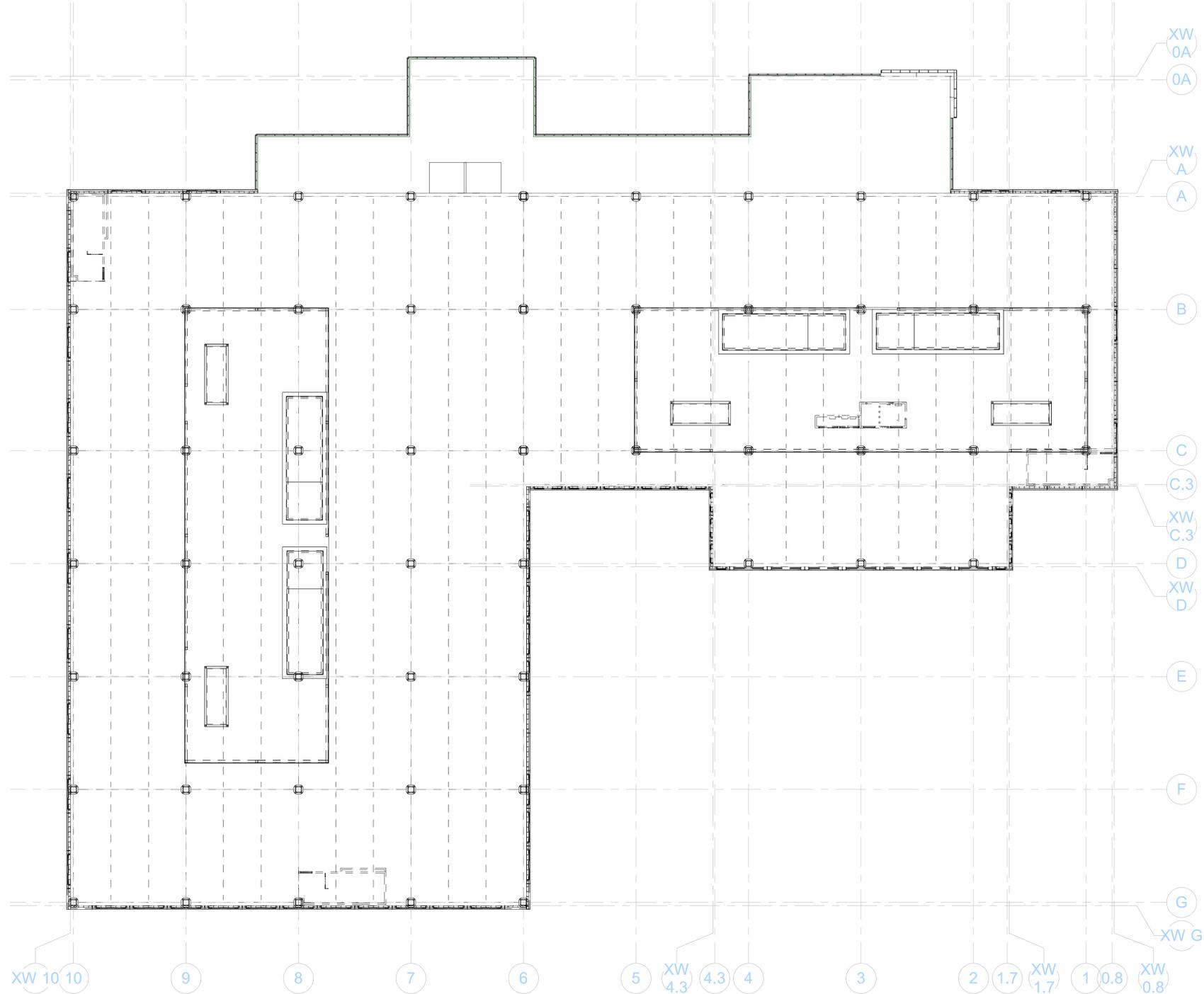
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: A2.13

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



ASC / MOB 2 ROOF PLAN

1/16" = 1'-0"

July 24, 2024

CO ARCHITECTS



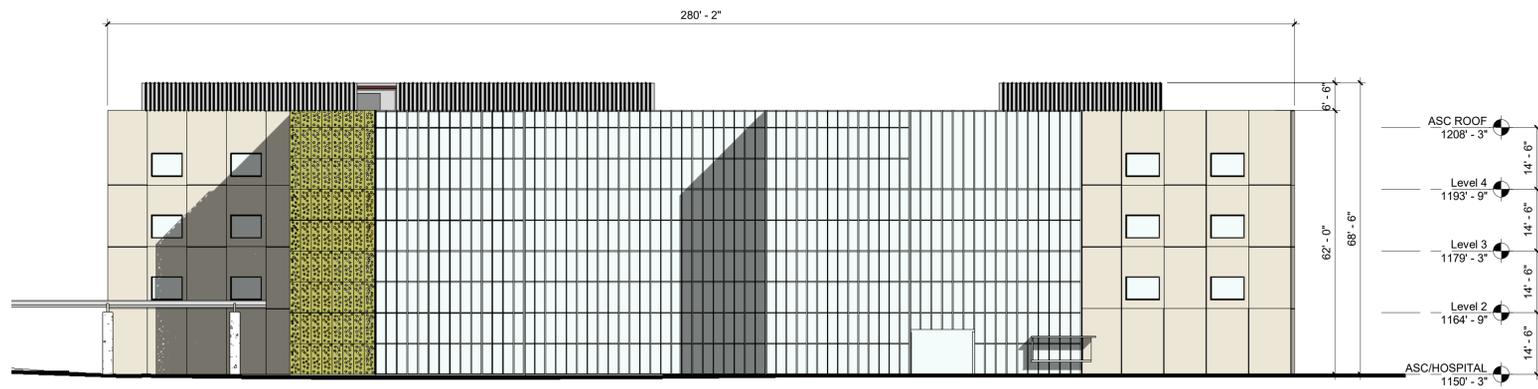
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

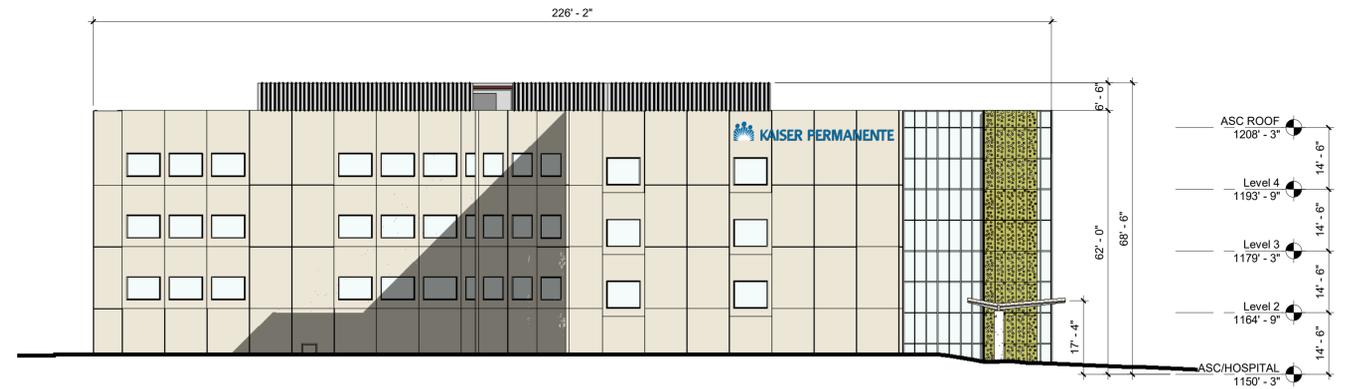
Sheet: A2.14

CITY OF REDLANDS

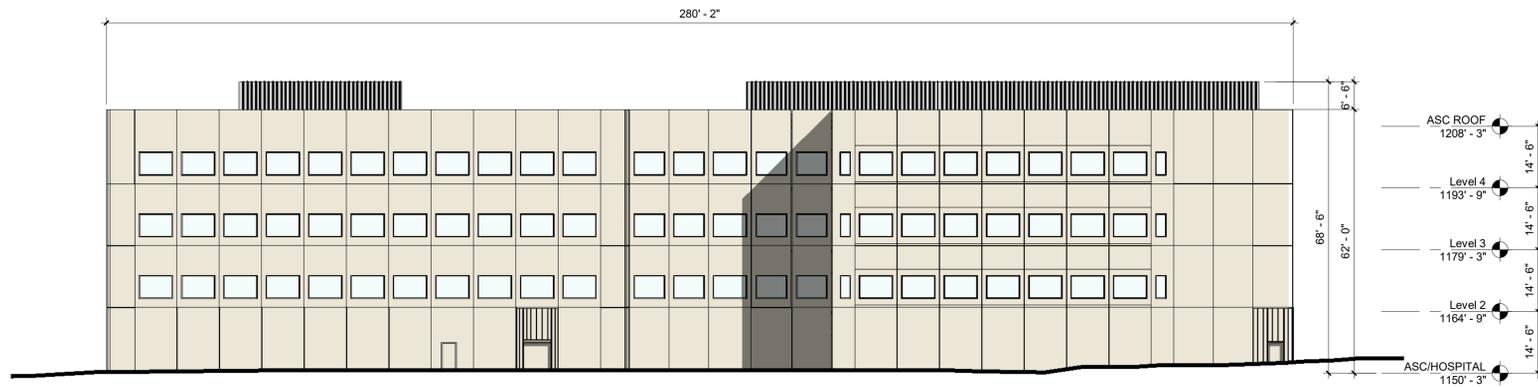
Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



1 NORTH ELEVATION
1" = 20'-0"



3 EAST ELEVATION
1" = 20'-0"

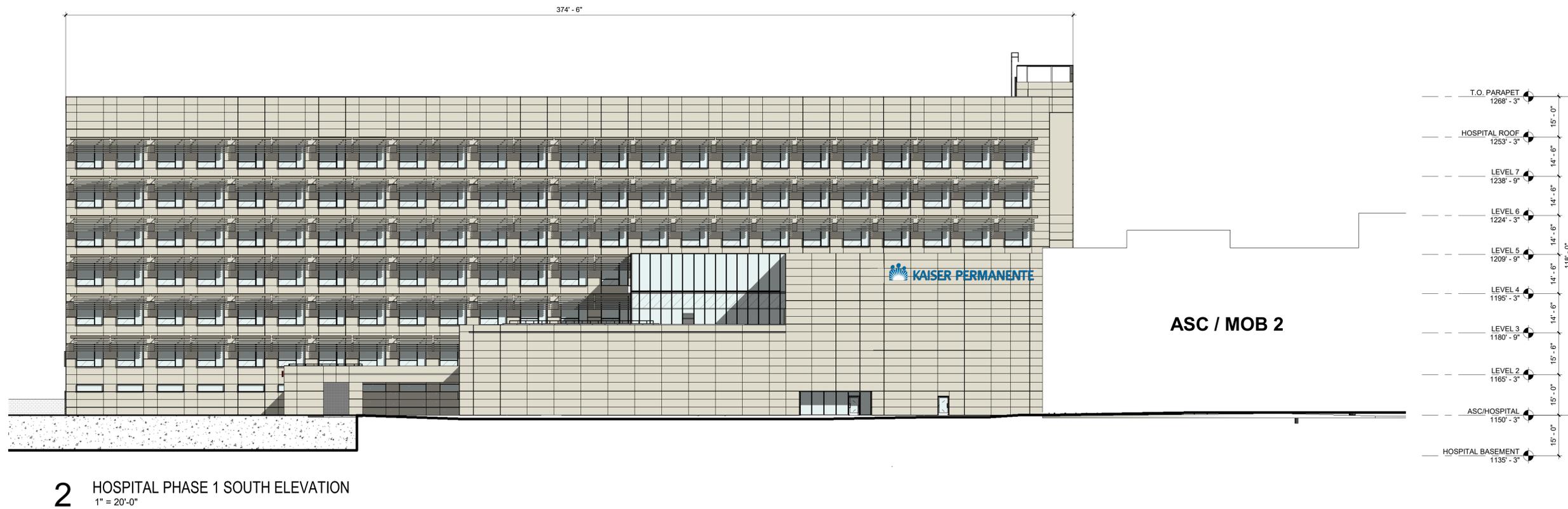
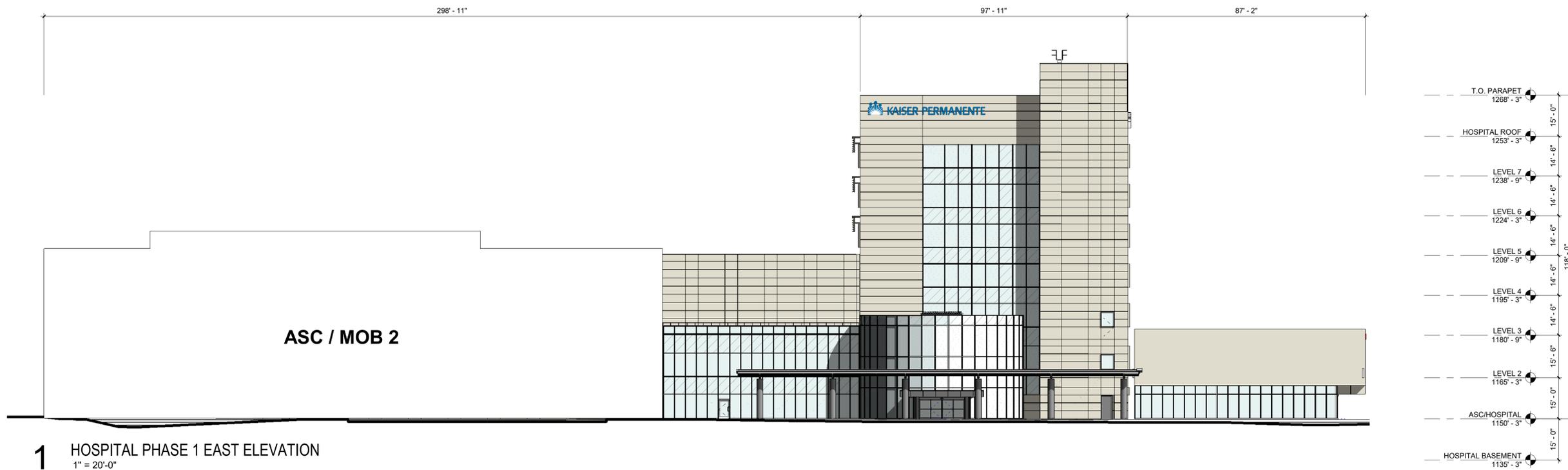


2 SOUTH ELEVATION
1" = 20'-0"

EXTERIOR MATERIAL TYPES

-  METAL PANEL - PATTERNED
-  METAL PANEL - SMOOTH WITH INTEGRAL GLAZING
-  CURTAIN WALL
-  METAL PANEL - VERTICAL





- EXTERIOR MATERIAL TYPES**
- METAL PANEL- SMOOTH WITH INTEGRAL GLAZING
 - PAINTED METAL FRAME AND SUNSHADE
 - CURTAIN WALL

HOSPITAL PHASE 2 ELEVATIONS

As indicated

July 24, 2024

CO ARCHITECTS



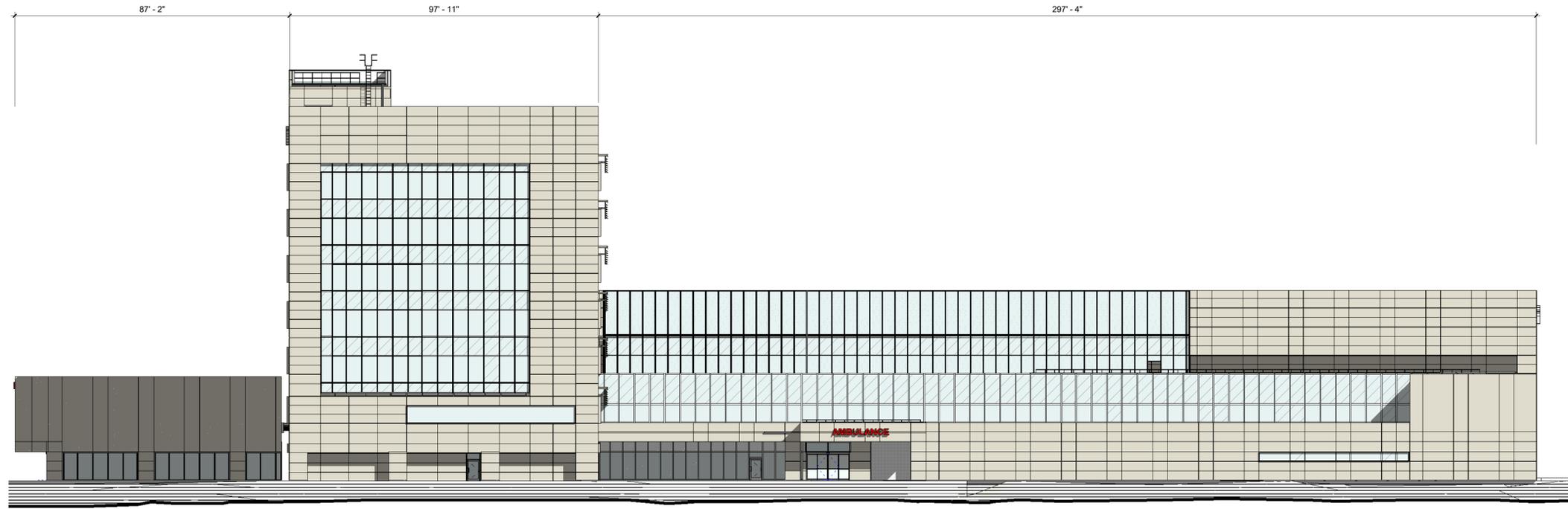
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: **A 3.11A**

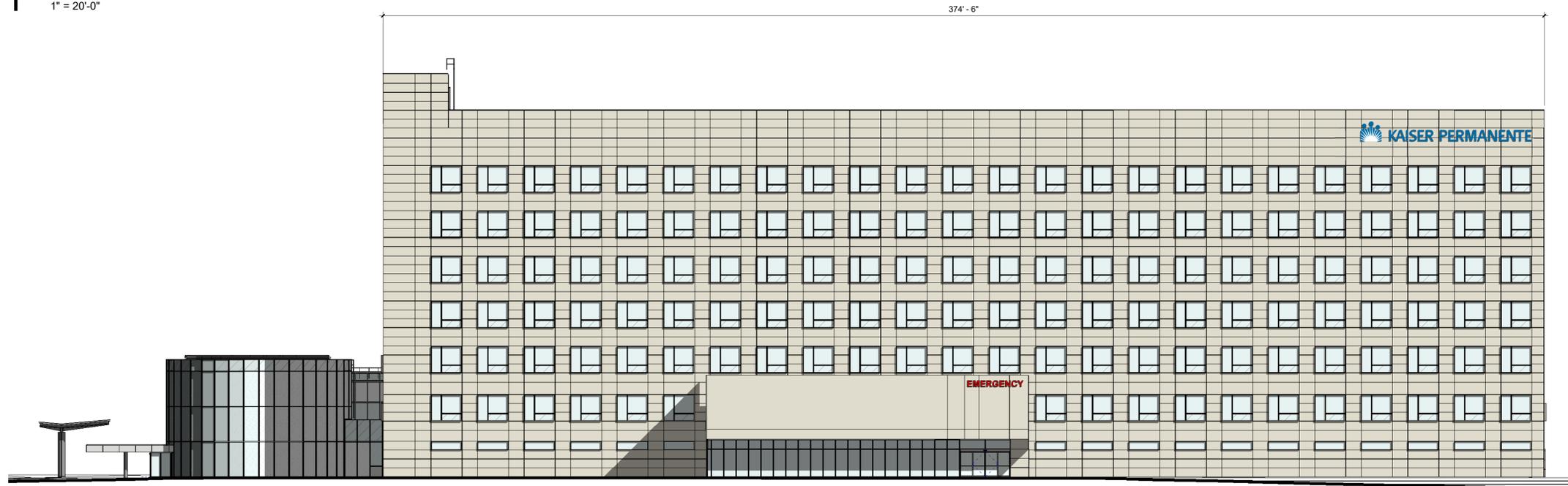
CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



T.O. PARAPET	1268' - 3"	15'-0"
HOSPITAL ROOF	1253' - 3"	14'-6"
LEVEL 7	1238' - 9"	14'-6"
LEVEL 6	1224' - 3"	14'-6"
LEVEL 5	1209' - 9"	14'-6"
LEVEL 4	1195' - 3"	14'-6"
LEVEL 3	1180' - 9"	15'-6"
LEVEL 2	1165' - 3"	15'-0"
ASC/HOSPITAL	1150' - 3"	15'-0"
HOSPITAL BASEMENT	1135' - 3"	

1 HOSPITAL PHASE 1 WEST ELEVATION
1" = 20'-0"



T.O. PARAPET	1268' - 3"	15'-0"
HOSPITAL ROOF	1253' - 3"	14'-6"
LEVEL 7	1238' - 9"	14'-6"
LEVEL 6	1224' - 3"	14'-6"
LEVEL 5	1209' - 9"	14'-6"
LEVEL 4	1195' - 3"	14'-6"
LEVEL 3	1180' - 9"	15'-6"
LEVEL 2	1165' - 3"	15'-0"
ASC/HOSPITAL	1150' - 3"	15'-0"
HOSPITAL BASEMENT	1135' - 3"	

- EXTERIOR MATERIAL TYPES**
- METAL PANEL- SMOOTH WITH INTEGRAL GLAZING
 - PAINTED METAL FRAME AND SUNSHADE
 - CURTAIN WALL

2 HOSPITAL PHASE 1 NORTH ELEVATION
1" = 20'-0"

HOSPITAL PHASE 2 ELEVATIONS

1" = 20'-0"

July 24, 2024

CO ARCHITECTS



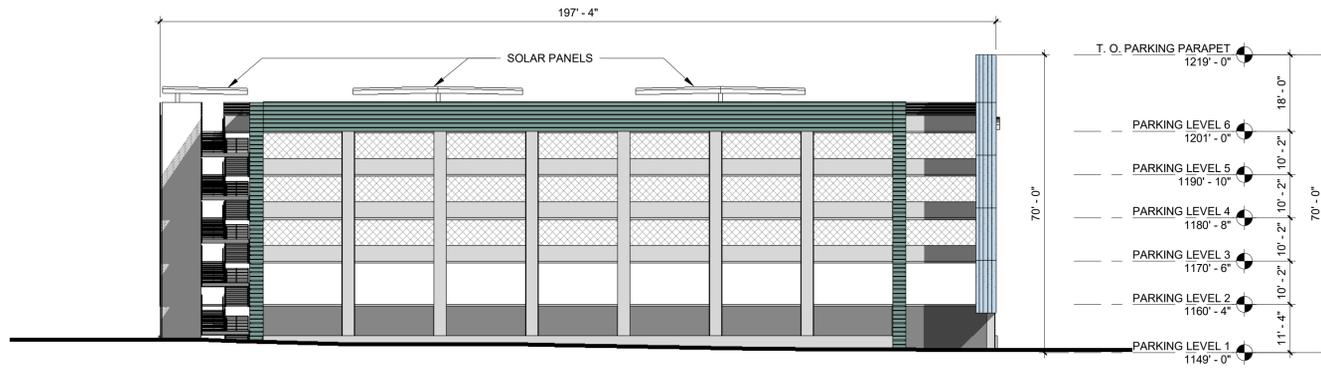
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

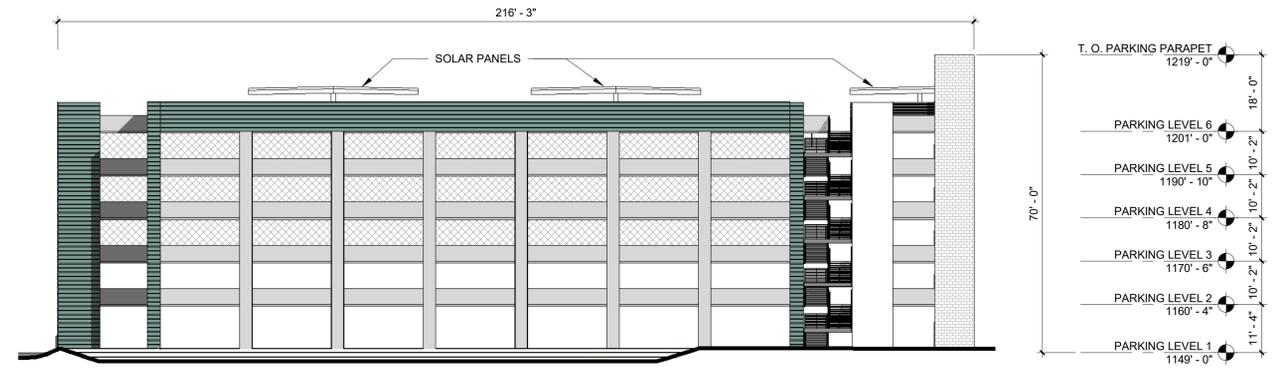
Sheet: **A 3.11B**

CITY OF REDLANDS

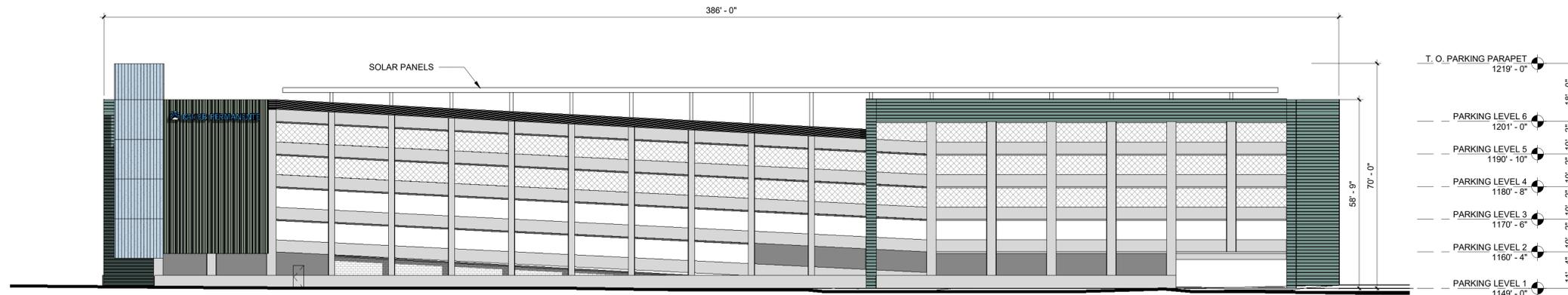
Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



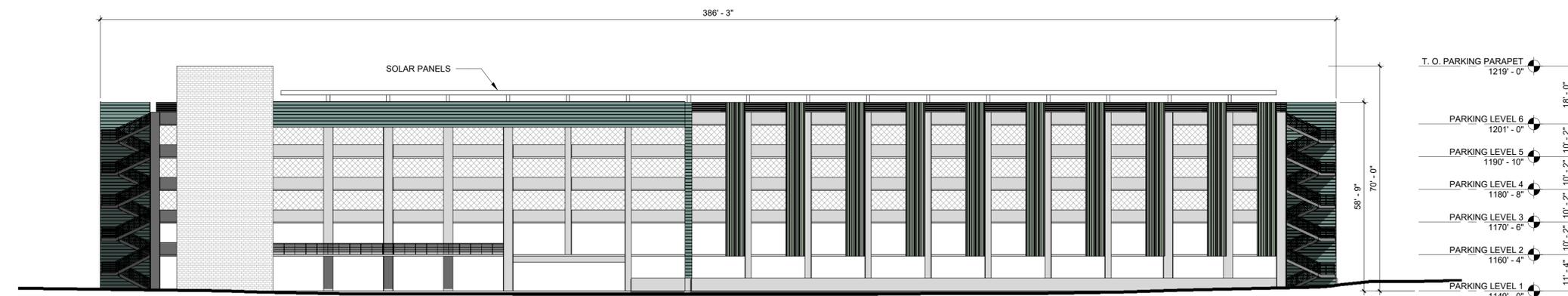
1 EAST ELEVATION
1" = 20'-0"



2 WEST ELEVATION
1" = 20'-0"



3 NORTH ELEVATION
1" = 20'-0"



4 SOUTH ELEVATION
1" = 20'-0"

EXTERIOR MATERIAL TYPES

-  METAL PANEL
-  CHANNEL GLASS
-  PAINTED CONCRETE
-  CMU ELEVATOR TOWER
-  MESH SCREEN FOR FALL PROTECTION

PARKING STRUCTURE ELEVATIONS

1" = 20'-0"

July 24, 2024

CO ARCHITECTS



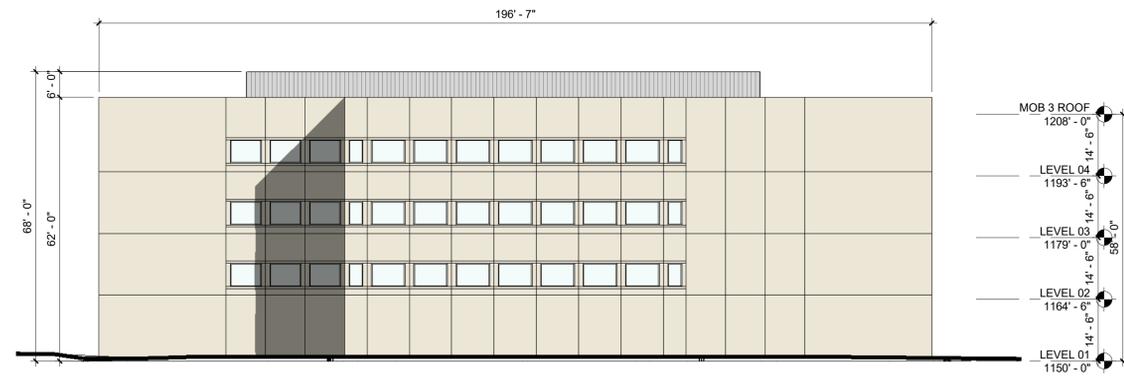
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: **A 3.12**

CITY OF REDLANDS

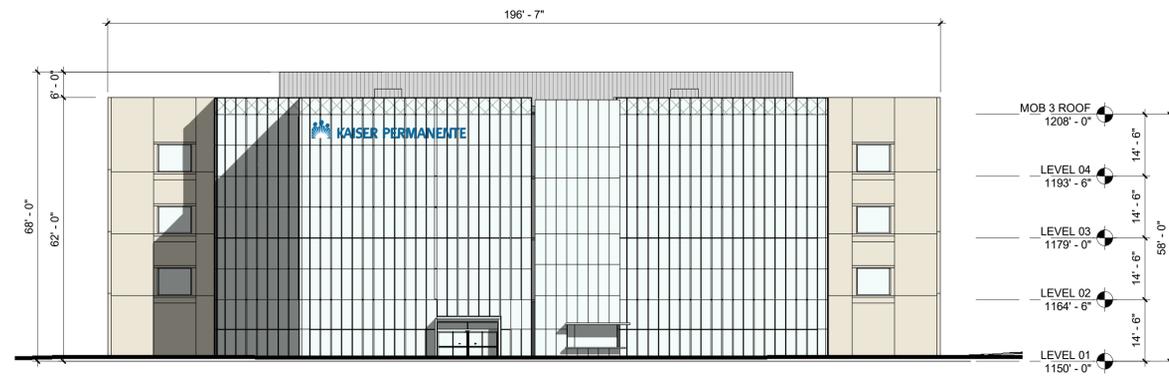
Site Development Plan Number:	OWNER: Kaiser Foundation Hospitals	PHONE: 626.405.6333
ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188	ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	TYPE OF DEVELOPMENT: XXXXX	LOCATION: 1301 California Street, Redlands, CA 92374
ZONE: CR ZONE		ACCESSOR'S PARCEL NUMBER: 0167-441-07



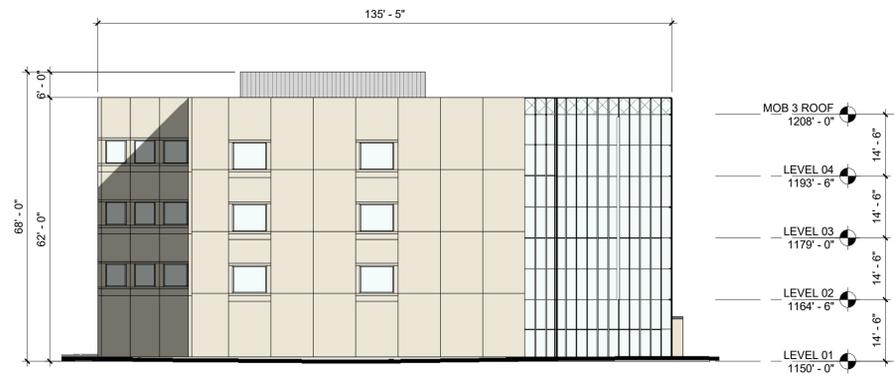
1 NORTH ELEVATION
1" = 20'-0"



2 EAST ELEVATION
1" = 20'-0"



3 SOUTH ELEVATION
1" = 20'-0"



4 WEST ELEVATION
1" = 20'-0"

EXTERIOR MATERIAL TYPES

- METAL PANEL - SMOOTH WITH INTEGRAL GLAZING
- METAL PANEL - VERTICAL
- CURTAIN WALL

MOB 3 ELEVATIONS

1" = 20'-0"

July 24, 2024

CO ARCHITECTS



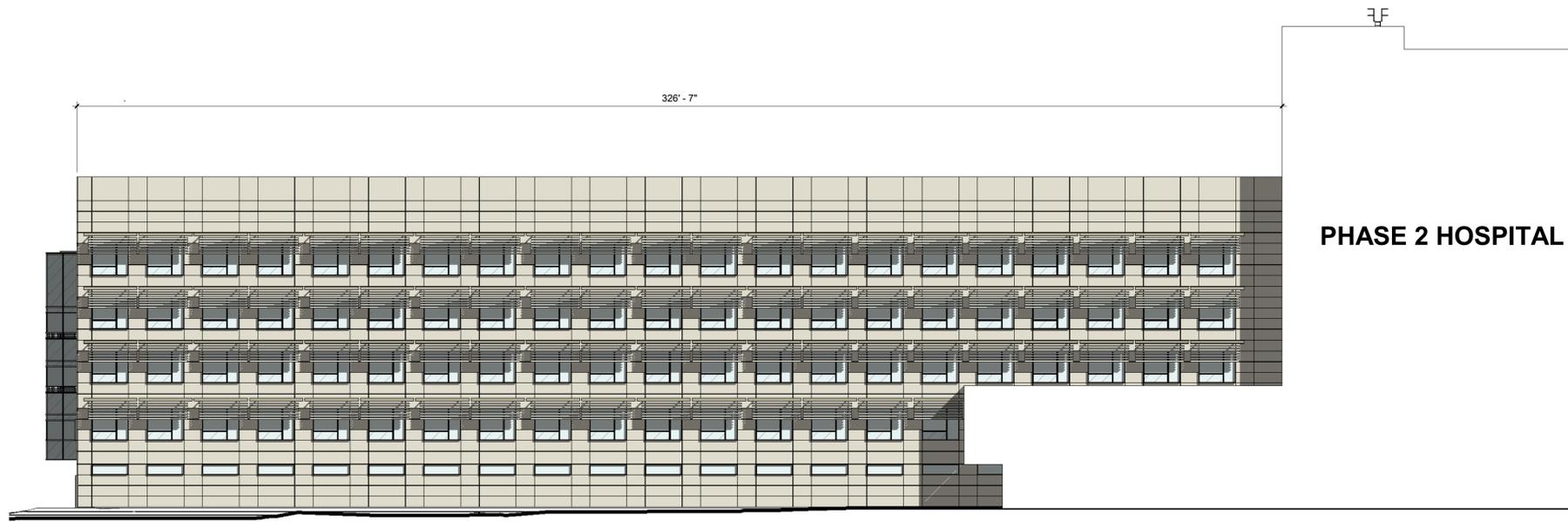
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: **A 3.13**

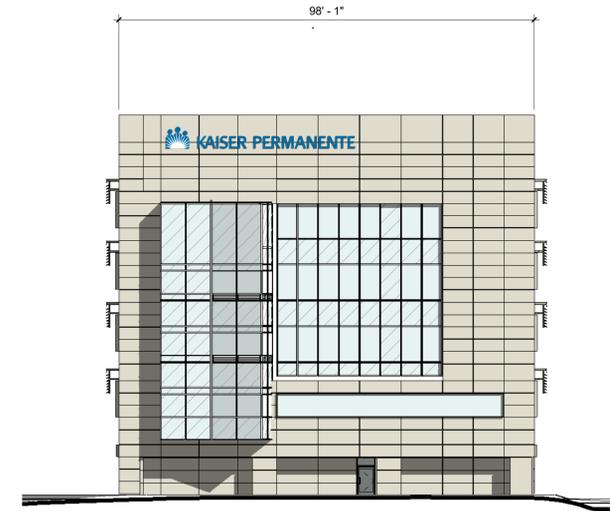
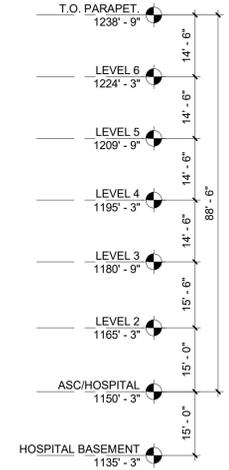
CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	

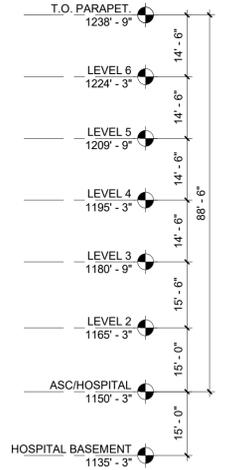


1 HOSPITAL PHASE 4 WEST ELEVATION
1" = 20'-0"

PHASE 2 HOSPITAL

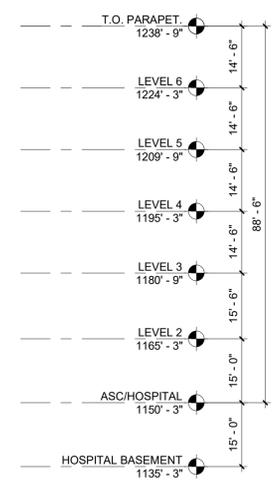


2 HOSPITAL PHASE 4 NORTH ELEVATION
1" = 20'-0"



3 HOSPITAL PHASE 4 EAST ELEVATION
1" = 20'-0"

PHASE 2 HOSPITAL



- EXTERIOR MATERIAL TYPES**
- METAL PANEL- SMOOTH WITH INTEGRAL GLAZING
 - PAINTED METAL FRAME AND SUNSHADE
 - CURTAIN WALL

HOSPITAL PHASE 4 ELEVATIONS

1" = 20'-0"

July 24, 2024

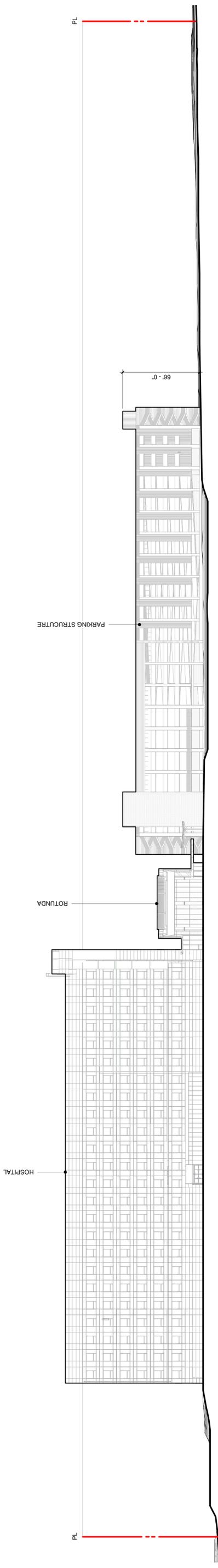


REDLANDS MEDICAL CENTER

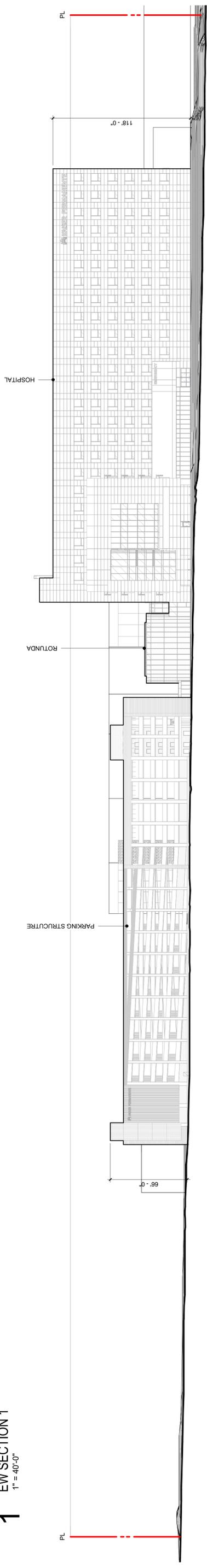
Sheet: **A 3.14**

CITY OF REDLANDS

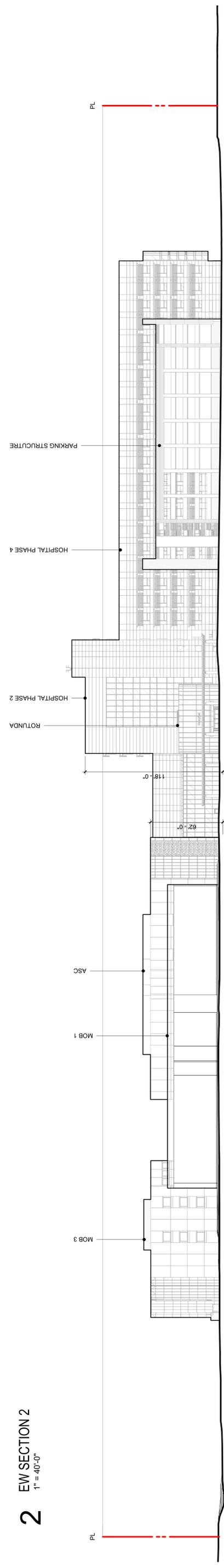
Site Development Plan Number:	OWNER: Kaiser Foundation Hospitals	PHONE: 626.405.6333
ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188	ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	TYPE OF DEVELOPMENT: XXXXX	LOCATION: 1301 California Street, Redlands, CA 92374
ZONE: CR ZONE		ACCESSOR'S PARCEL NUMBER: 0167-441-07



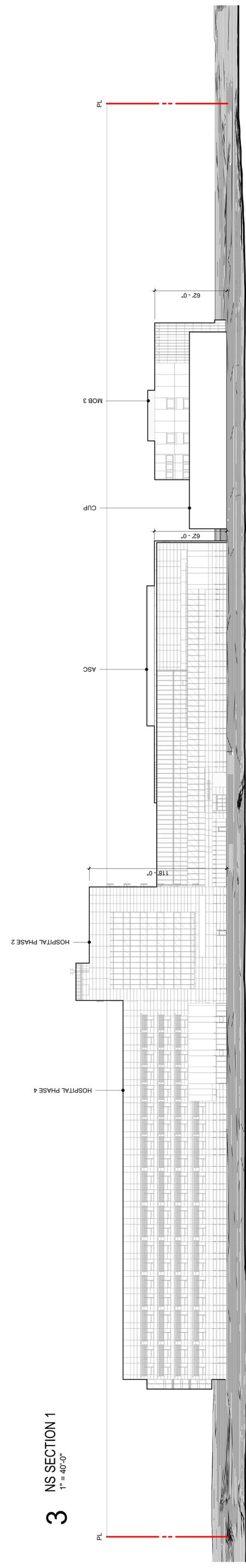
1 EW SECTION 1
1" = 40'-0"



2 EW SECTION 2
1" = 40'-0"



3 NS SECTION 1
1" = 40'-0"



4 NS SECTION 2
1" = 40'-0"

SITE SECTIONS
1" = 40'-0"

July 24, 2024

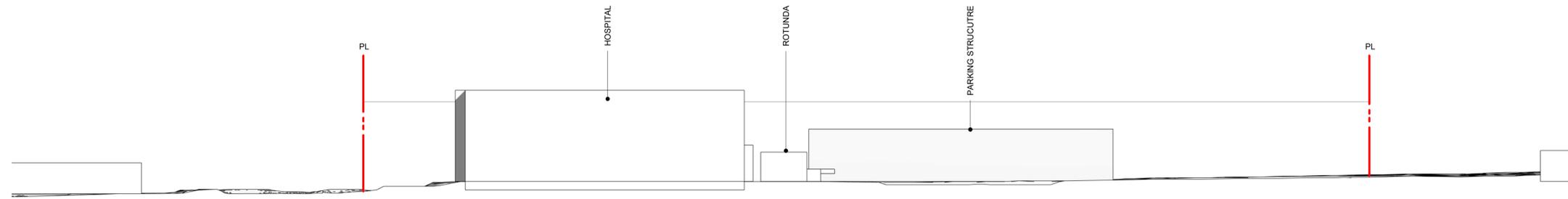
CO ARCHITECTS



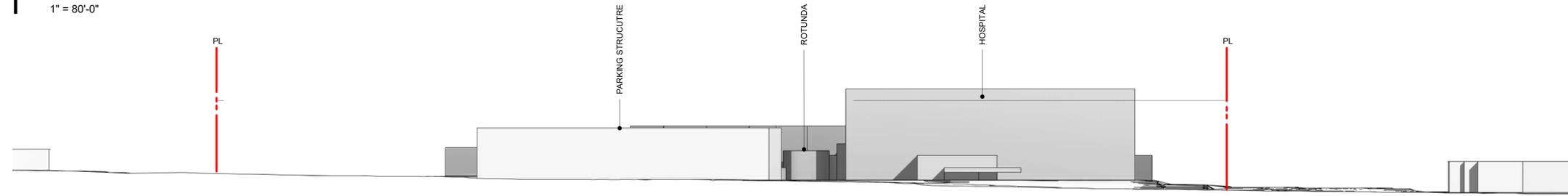
REDLANDS MEDICAL CENTER

Sheet **A 3.20** CITY OF REDLANDS

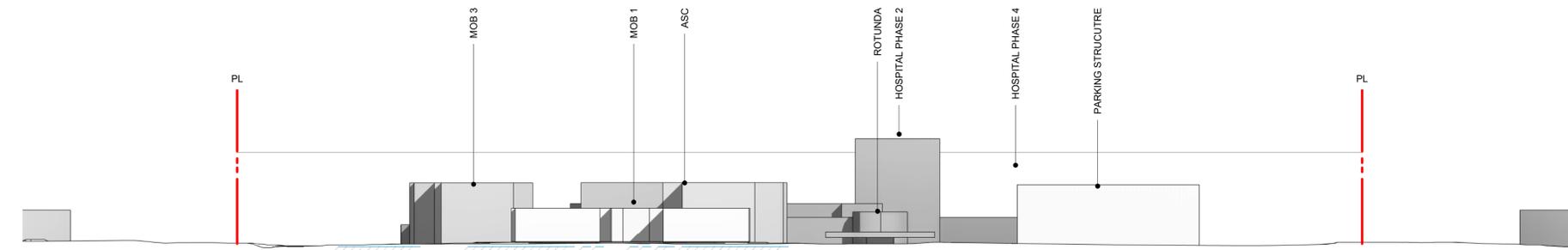
Site Development Plan Number:
 OWNER: Kaiser Foundation Hospitals
 ADDRESS: 750 Washington Boulevard, Suite 550, Los Angeles, CA 90058 (Architect)
 ARCHITECT: ENGINEER DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects
 PHONE: 323.535.0500 (Architect)
 LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX
 ACCESSORS PARCEL NUMBER: 0167-441-07
 ZONE: CR-ZONE



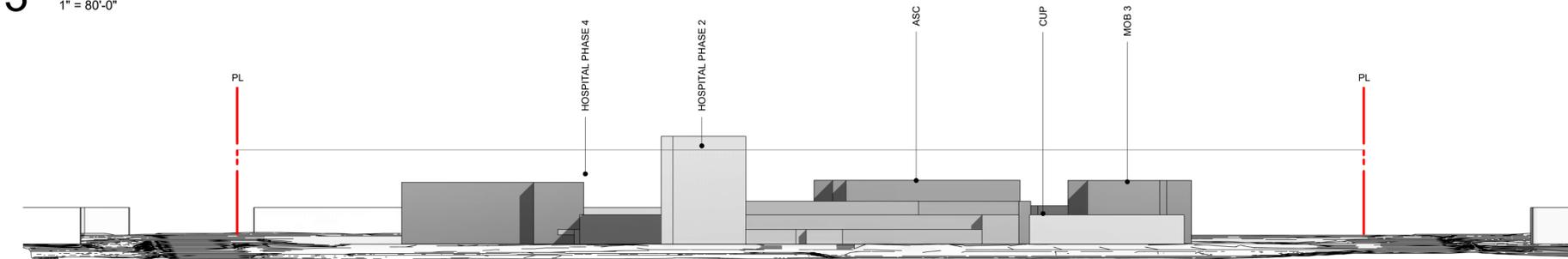
1 EW SECTION 1
1" = 80'-0"



2 EW SECTION 2
1" = 80'-0"



3 NS SECTION 1
1" = 80'-0"



4 NS SECTION 2
1" = 80'-0"

SITE & VICINITY SECTIONS

1" = 80'-0"

July 24, 2024

CO ARCHITECTS



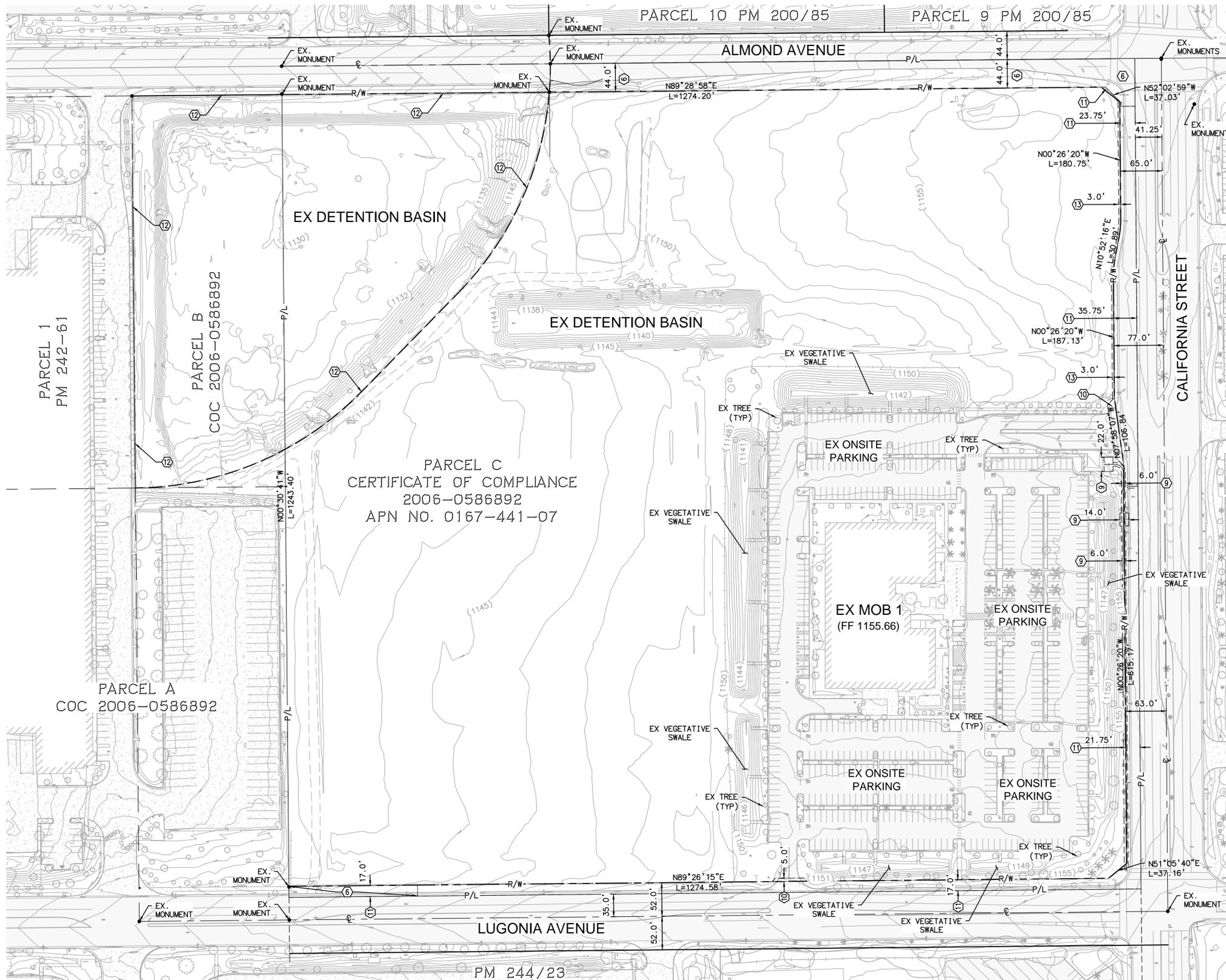
KAISER PERMANENTE

REDLANDS MEDICAL CENTER

Sheet: **A 3.21**

CITY OF REDLANDS

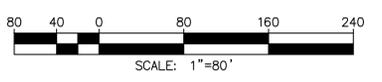
Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, 4th Floor, Pasadena, CA 91188
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07
ZONE: CR ZONE	



EASEMENT NOTES

- ⑥ AN OFFER OF DEDICATION FOR PUBLIC ROAD, UTILITY AND PUBLIC SERVICE USES AND INCIDENTAL PURPOSES, RECORDED JUNE 19, 2003 AS INSTRUMENT NO. 2003-0414272 OF OFFICIAL RECORDS TO THE CITY OF REDLANDS (PORTIONS ALMOND & LUGONIA STREETS)
- ⑨ ELECTRIC EASEMENT TO SO. CAL EDISON CO. FOR UNDERGROUND ELECTRICAL SUPPLY AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 05, 2007 AS INSTRUMENT NO. 2007-0511648 OF OFFICIAL RECORDS. (4 STRIPS, VARYING WIDTHS, AS SHOWN)
- ⑩ AN EASEMENT FOR SIDEWALK PURPOSES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 06, 2007 AS INSTRUMENT NO. 2007-0514600 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF REDLANDS, A MUNICIPAL CORPORATION AFFECTS: AS DESCRIBED THEREIN

- ⑪ ROADWAY EASEMENT AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 06, 2007 AS INSTRUMENT NO. 2007-0514601 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF REDLANDS, A MUNICIPAL CORPORATION
- ⑫ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL EASEMENT AGREEMENT" RECORDED SEPTEMBER 10, 2007 AS INSTRUMENT NO. 2007-0520620 OF OFFICIAL RECORDS. (DETENTION BASIN AS SHOWN)
- ⑬ AN EASEMENT FOR SIDEWALK PURPOSES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 02, 2008 AS INSTRUMENT NO. 2008-0443990 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF REDLANDS, A MUNICIPAL CORPORATION AFFECTS: AS DESCRIBED THEREIN



OWNER/DEVELOPER

KAISER PERMANENTE
393 E. WALNUT STREET, 4TH FLOOR
PASADENA, CA 91188
CONTACT PERSON: SKYLER DENNISTON
PHONE NO. (626) 405-6333

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
9755 CLAIREMONT MESA BOULEVARD, SUITE 100
SAN DIEGO, CA 92124
PHONE NO. (858) 614-5000

ARCHITECT

CO ARCHITECTS
5055 WILSHIRE BOULEVARD, 9TH FLOOR
LOS ANGELES, CA 90036
PHONE NO. (323) 525-0500

SITE ADDRESS

1301 CALIFORNIA STREET
REDLANDS, CA 92374

FEMA ZONE

ZONE X, MINIMAL FLOOD HAZARD

EXISTING UTILITY NOTE

EXISTING UTILITIES HAVE BEEN SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL LOCATE AND MARK OUT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE ENGINEER IF ANY UTILITIES ARE LOCATED THAT ARE NOT IDENTIFIED ON THESE PLANS.

STORM WATER NOTE

A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES BEST MANAGEMENT PRACTICES TO REDUCE POLLUTANTS REACHING DOWNSTREAM WATER BODIES, WILL BE PREPARED PRIOR TO ISSUANCE OF GRADING PERMIT AND A NOTICE OF INTENT SUBMITTED TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD.

EARTHWORK

PHASE 1	PHASE 3
OUT: 33,000 CY	OUT: 79,000 CY
FILL: 33,000 CY	FILL: 105,000 CY
NET: 0 CY	NET: 26,000 CY
PHASE 2	PHASE 4
OUT: 79,000 CY	OUT: 79,000 CY
FILL: 105,000 CY	FILL: 105,000 CY
NET: 26,000 CY	NET: 26,000 CY

DISTURBED AREA

GROSS DISTURBED AREA: 29.5 ACRES

LEGAL DESCRIPTION

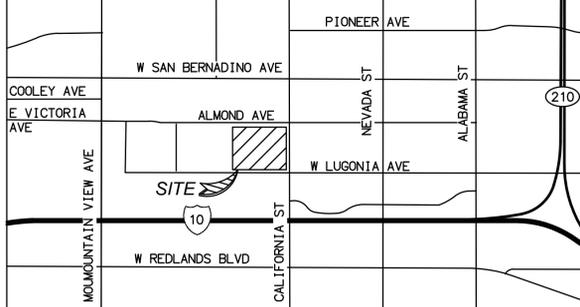
REAL PROPERTY IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF PARCEL 26 OF PARCEL MAP NO. 15911, IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 200, PAGES 85 TO 92, INCLUSIVE OF PARCEL MAPS, AND PARCEL "C" OF CERTIFICATE OF COMPLIANCE RECORDED AUGUST 16, 1991 AS INSTRUMENT NO. 91-312389, OF OFFICIAL RECORDS, BEING A PORTION OF LOTS 1, 2, 3, 4, 18, 19 AND 20 AND HUGO STREET (VACATED) OF THE ORANGE GROVE HOMESTEAD, AS PER MAP RECORDED IN BOOK 2, PAGE 5, OF MAPS, ALL IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF A LINE PARALLEL WITH AND 233.23 FEET EASTERLY, MEASURE AT RIGHT ANGLES FROM THE WESTERLY LINE OF SAID PARCEL 26 WITH THE NORTHERLY LINE OF SAID PARCEL 26, SAID NORTHERLY LINE ALSO BEING THE SOUTHERLY LINE OF ALMOND AVENUE, (88.00 FEET WIDE) AS SHOWN ON SAID PARCEL MAP NO. 15911; THENCE ALONG SAID PARALLEL LINE, SOUTH 00° 30' 44" EAST, 1243.45 FEET TO THE SOUTHERLY LINE OF SAID PARCEL "C"; THENCE ALONG SAID SOUTHERLY LINE OF PARCEL "C" NORTH 89° 25' 49" EAST, 1325.45 FEET TO THE EASTERLY LINE OF SAID PARCEL "C" THENCE ALONG SAID EASTERLY LINE OF SAID PARCEL "C" NORTH 00° 26' 27" WEST, 1286.12 FEET TO THE NORTHERLY LINE OF SAID PARCEL "C"; THENCE ALONG SAID NORTHERLY LINE OF PARCEL "C", SOUTH 89° 29' 16" WEST, 90908 FEET TO THE WESTERLY CURVED LINE OF SAID PARCEL "C" BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 500.00 FEET, A RADIAL LINE OF SAID CURVE TO ITS POINT OF BEGINNING BEARS NORTH 89° 29' 16" EAST; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 5° 02' 55" AN ARC DISTANCE OF 44.06 FEET TO THE NORTHEASTERLY CORNER OF SAID PARCEL 26; THENCE ALONG SAID NORTHERLY LINE OF PARCEL 26, SOUTH 89° 29' 16" WEST, 416.03 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ALL MINERALS AND ALL MINERAL RIGHTS OF EVERY KIND AND CHARACTER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, EXCLUDING THE AREA WITHIN THE TOP FIVE HUNDRED (500) FEET OF THE SURFACE OF THE LAND, INCLUDING, WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, OIL AND GAS AND RIGHTS THERETO, TOGETHER WITH THE SOLE, EXCLUSIVE AND PERPETUAL RIGHT TO EXPLORE FOR, REMOVE AND DISPOSE OF SAID MINERALS BY ANY MEANS OR METHODS SUITABLE TO GRANTOR, ITS SUCCESSORS AND ASSIGNS, BUT WITHOUT ENTERING UPON OR USING THE SURFACE OF THE PROPERTY, AND IN SUCH MANNER AS NOT TO DAMAGE THE SURFACE OF SAID LANDS OR ITS LATERAL OR HORIZONTAL SUPPORT OR TO INTERFERE WITH THE USE THEREOF BY GRANTEE, ITS SUCCESSORS OR ASSIGNS, AS RESERVED IN THE DEED FROM UNION PACIFIC RAILROAD COMPANY, A DELAWARE CORPORATION, RECORDED NOVEMBER 2, 2001 AS INSTRUMENT NO. 2001-503313, OFFICIAL RECORDS.

APN: 0167-441-07-0-000



VICINITY MAP

N.T.S.

LEGEND

- STREET CENTERLINE
- EASEMENT LINE
- RIGHT OF WAY/PROPERTY LINE
- PARCEL LINE

TOPOGRAPHY SOURCE

AEROTECH MAPPING, INC.
200 SPECTRUM CENTER DRIVE, SUITE 300
IRVINE, CA 92618
PHONE NO. (619) 606-5020
TOPO SOURCE: AERIAL TOPO
TOPO SOURCE DATE: 2022-07-13

BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER NATIONAL GEODETIC SURVEY (NGS) DESIGNATION U1418. LOCATED APPROXIMATELY 196 FEET WEST OF THE CL INT OF CHURCH ST & E PENNSYLVANIA AVE, NORTH SIDE OF E PENNSYLVANIA BETWEEN SIDEWALK AND CURB ELEVATION: 1404.80

BASIS OF COORDINATES & BEARINGS

THE BASIS OF BEARINGS IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCRS83, ZONE 5, (CCRS EPOCH 2017.5) BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CONTINUOUS OPERATING REFERENCE STATIONS (CORS) AS PUBLISHED BY SCRIPPS ORBIT & PERMANENT ARRAY CENTER (SOPAC).

STATION	NORTHING (ft.)	GRID EASTING (ft.)	GRID
P612	1891277.943	6768672.068	
MSOB	1907327.945	6800419.744	

DISTANCES SHOWN HEREON ARE GROUND AND IN TERMS OF THE U.S. SURVEY FOOT. CONTROL POINT 1: GRID DISTANCE = GROUND DISTANCE X COMBINED SCALE FACTOR (0.9999428)

THE BASIS OF BEARINGS IS THE CALCULATED BEARING BETWEEN SAID CONTROL STATIONS P612 & MSOB I.E. N63°10'52"E

EXISTING CONDITIONS

July 24, 2024

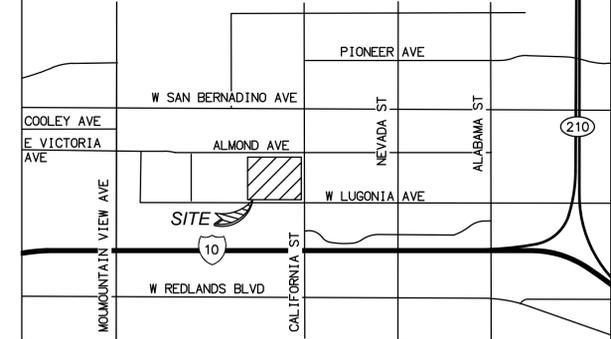
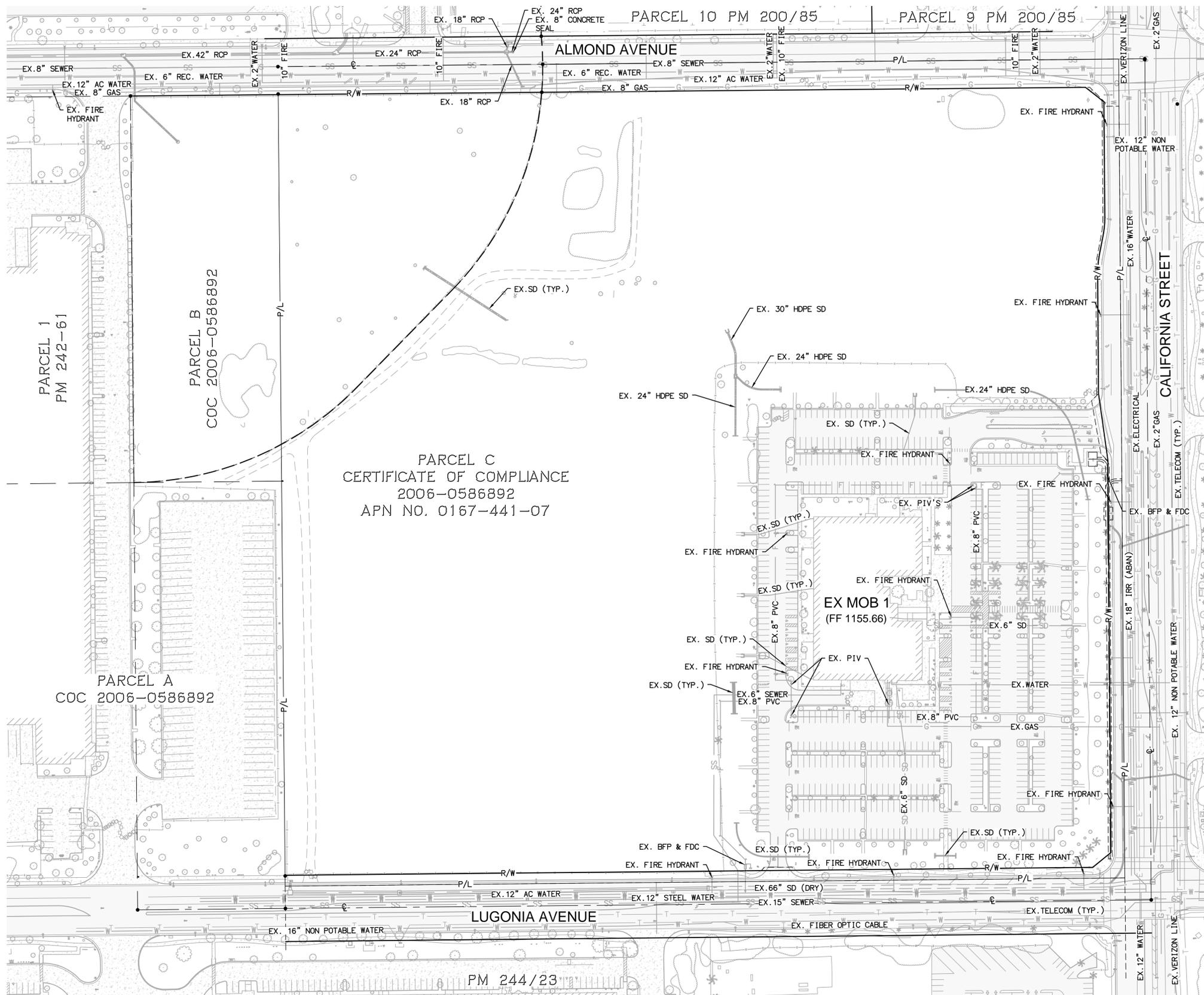


REDLANDS MEDICAL CENTER

Sheet: C1.00

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street, Pasadena, CA 91188
ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000



VICINITY MAP
N.T.S.

LEGEND

EXISTING STORM DRAIN	---
EXISTING SEWER	SS ---
EXISTING WATER	W ---
EXISTING GAS	G ---
EXISTING FIRE	F ---
EXISTING TELECOM	T ---

EXISTING UTILITY NOTE

EXISTING UTILITIES HAVE BEEN SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL LOCATE AND MARK OUT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE ENGINEER IF ANY UTILITIES ARE LOCATED THAT ARE NOT IDENTIFIED ON THESE PLANS.



EXISTING UTILITIES

July 24, 2024

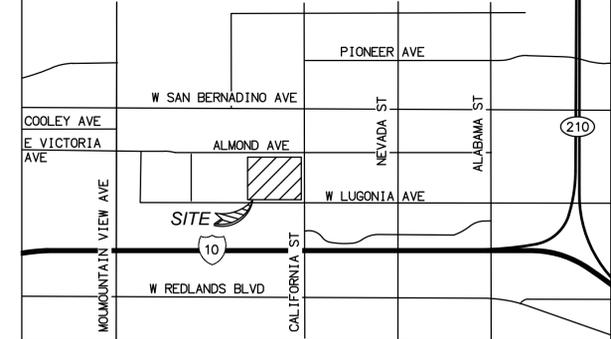
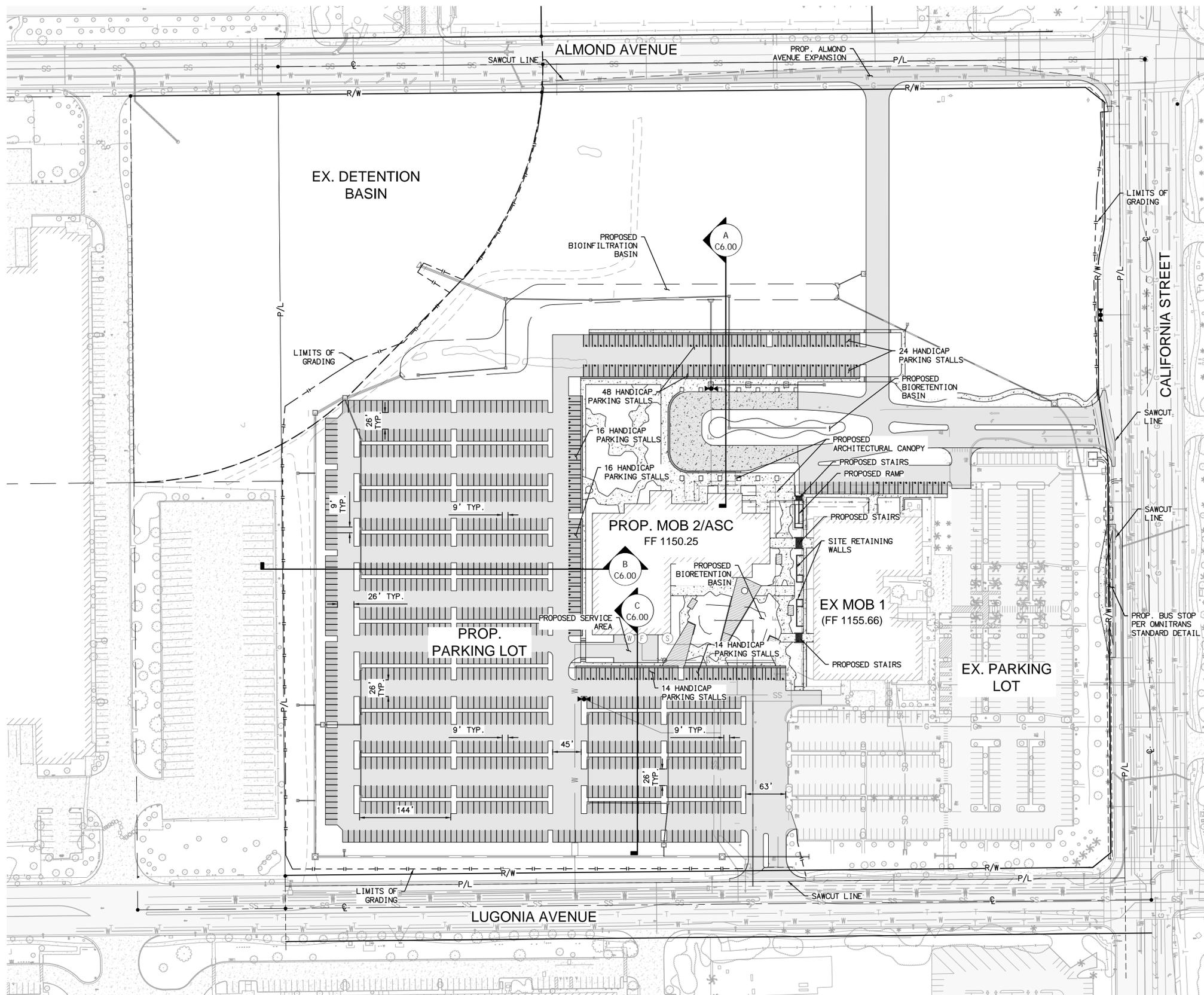
ARCHITECTS

REDLANDS MEDICAL CENTER

Sheet: C1.01

CITY OF REDLANDS

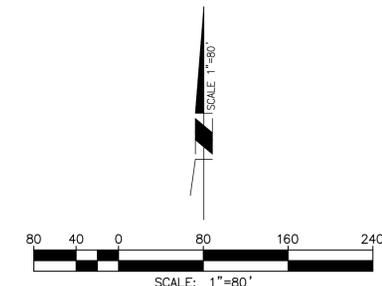
Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 393 E. Walnut Street Pasadena, CA 91108
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



VICINITY MAP
N.T.S.

LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
AC PAVEMENT	▨
HEAVY VEHICULAR AC PAVEMENT	▨
HEAVY VEHICULAR CONCRETE PAVEMENT	▨
PEDESTRIAN CONCRETE PAVEMENT	▨
DG PATH	▨
PROPOSED BUILDING	▨
TRUNCATED DOMES	▨

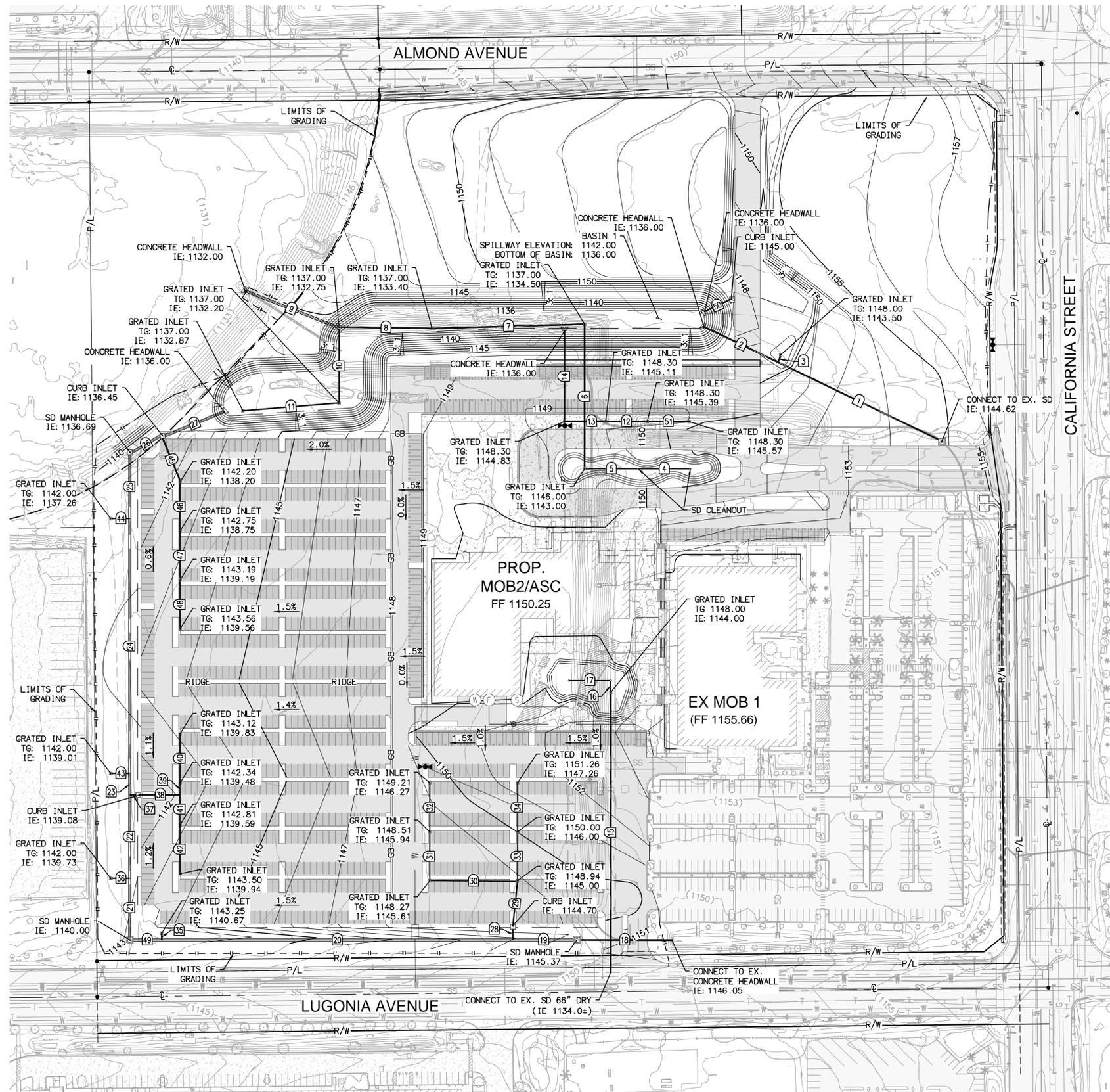


SITE PHASING - 1
SITE PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

Sheet: C2.00	CITY OF REDLANDS
Site Development Plan Number:	OWNER: Kaiser Foundation Hospitals
ADDRESS: 393 E Walnut Street Pasadena, CA 91108	PHONE: 626.405.6333
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



LEGEND

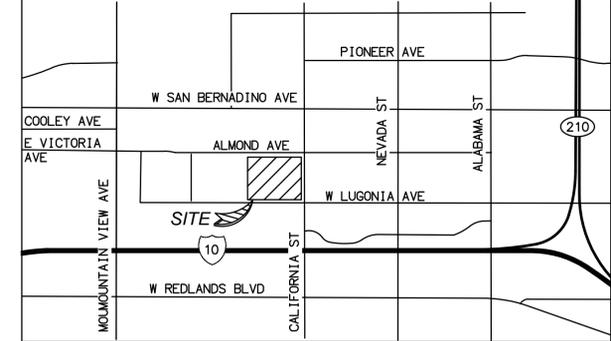
- MAJOR CONTOUR
- MINOR CONTOUR
- DAYLIGHT LINE
- SAWCUT LINE
- STORM DRAIN
- CURB INLET
- STORM DRAIN MANHOLE
- CATCH BASIN INLET
- CONCRETE HEADWALL
- CONCRETE STRUCTURE INLET

EARTHWORK

CUT: 33,000 CY
 FILL: 33,000 CY
 NET: 0 CY

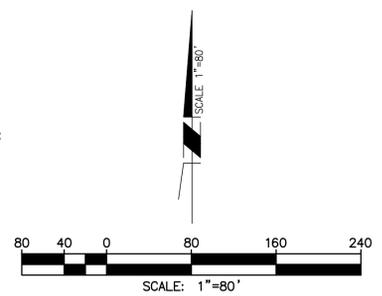
GRADING GENERAL NOTES

1. ALL GRADING AND ON-SITE CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF THE UNIFORM BUILDING CODE, LATEST EDITION, APPENDIX CHAPTER 33 AND THE CALIFORNIA BUILDING CODE, LATEST EDITION. THESE CODES ARE AMENDED IN THE CITY OF REDLANDS MUNICIPAL CODE. IF CONTRADICTIONS ARISE BETWEEN PROVISIONS IN THESE PLANS FROM THOSE IN THE VARIOUS CODES, THE MOST RESTRICTIVE PROVISIONS WILL GOVERN.
2. AFTER THE GRADING PERMIT HAS BEEN ISSUED, THE PROJECT MANAGER SHALL CONVENE AN ON-SITE PRECONSTRUCTION MEETING WITH THE CITY OF REDLANDS INSPECTOR, THE ENGINEER OF RECORD, THE GEOTECHNICAL ENGINEER AND THE GRADING CONTRACTOR. AT THIS MEETING, THE PROJECT SUPERINTENDENT SHALL BE IDENTIFIED AND AN EMERGENCY CONTACT PERSON SHALL BE IDENTIFIED TO THE INSPECTOR.
3. USE BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT AND CONTAIN ILLEGAL DISCHARGES WITHIN THE PROJECT BOUNDARY. THIS WILL BE IN EFFECT FOR THE ENTIRE DURATION OF THE PROJECT CONSTRUCTION TO ITS COMPLETION.
4. BUILDING PERMITS SHALL NOT BE ISSUED UNTIL THE PROJECT SITE HAS BEEN GRADED AND THE ENGINEER OF RECORD HAS CERTIFIED TO THE SATISFACTION OF THE CITY ENGINEER THAT THE SITE HAS BEEN PREPARED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS REPORT(S) AND TO THE SPECIFICATIONS OF THE APPROVED GRADING PLANS. IN ADDITION, A FINAL COMPACTION REPORT SHALL BE SUBMITTED TO BOTH THE INSPECTOR AND THE BUILDING OFFICIAL FOR APPROVAL.
5. A WRITTEN REPORT BY A GEOTECHNICAL ENGINEER IS TO BE FURNISHED TO BOTH THE CITY'S MUNICIPAL UTILITIES AND ENGINEERING DEPARTMENT AND BUILDING AND SAFETY DIVISION, TO CERTIFY THAT ALL FILL MATERIAL AND MATERIAL UPON WHICH FILL IS TO BE PLACED IS ADEQUATE TO SUPPORT THE LOADS OF THE PROPOSED DEVELOPMENT. THIS REPORT SHALL INCLUDE SOIL TEST DATA ON ALL FILLS OF TWO FEET OR MORE.
6. PREPARATION OF THE SITE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE INSTRUCTIONS OF A GEOTECHNICAL ENGINEER AND ALL FILLS WILL BE MADE UNDER HIS DIRECTION.
7. IN NO CASE IS ANY SLOPE TO EXCEED A GRADIENT OF TWO HORIZONTAL TO ONE VERTICAL (2:1).
8. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITY LINES, STRUCTURES OR IRRIGATION LINES. THE CONTRACTOR IS TO MAKE AN ON-SITE INSPECTION AND NOTIFY ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND FACILITIES.
9. THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR CLEARING THE SITE IN PREPARATION FOR CONSTRUCTION.
10. THE ENGINEER'S ESTIMATE IS 79,000 CY OF EXCAVATION AND 105,000 CY OF EMBANKMENT FOR THE SITE GRADING. THESE ARE RAW QUANTITIES WITHOUT ALLOWANCES FOR LOSS, SHRINKAGE OR COMPACTION.
11. INSTALL FIRE HYDRANTS AS REQUIRED PRIOR TO THE DELIVERY OF ANY BUILDING MATERIAL TO THE SITE.
12. BENCHMARK: ENTER PROJECT SPECIFIC DATA HERE. ELEVATION:
13. ALL SLOPES THREE FEET OR GREATER MUST BE LANDSCAPED AND IRRIGATED PRIOR TO OCCUPANCY.
14. ACREAGE OF THE PROJECT IS: ACRE(S).
15. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY WALLS, SIDEWALKS, SLABS, PAVING, ETC. TO BE CONSTRUCTED ON-SITE AS SHOWN HEREON. A SEPARATE PERMIT IS REQUIRED FROM THE BUILDING AND SAFETY DIVISION FOR THE CONSTRUCTION OF THESE ON-SITE ITEMS.
16. ALL EARTHWORK SHALL CONFORM TO THE PRELIMINARY GEOTECHNICAL AND/OR GEOLOGIC INVESTIGATION REPORT FOR _____ PREPARED BY _____, DATED _____.
17. THE ENGINEER OF RECORD MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES.
18. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS PRIOR TO POURING ANY CONCRETE.



VICINITY MAP
 N.T.S.

STORM DRAIN DATA TABLE				
NO	BEARING/Delta	LENGTH	SLOPE (%)	SIZE/TYPE
1	N 64°23'48" W	256.64'	2.3	24" HDPE
2	N 64°23'48" W	117.94'	2.3	24" HDPE
3	N 22°24'56" E	9.10'	52.6	18" HDPE
4	N 90°00'00" E	75.00'	0.5	6" PERF. PVC
5	N 90°00'00" E	77.00'	0.5	6" PERF. PVC
6	N 00°00'00" W	206.91'	4.1	18" HDPE
7	N 88°23'37" E	214.61'	0.5	18" HDPE
8	N 89°10'38" W	129.72'	0.5	18" HDPE
9	N 68°36'31" W	142.07'	0.5	36" HDPE
10	N 00°00'00" E	102.19'	0.5	12" HDPE
11	N 85°20'21" E	134.58'	0.5	12" HDPE
12	N 90°00'00" E	59.87'	0.5	12" HDPE
13	N 90°00'00" E	59.11'	0.5	18" HDPE
14	N 00°00'00" E	129.15'	6.8	18" HDPE
15	N 00°00'00" E	400.61'	2.5	18" HDPE
16	N 00°00'00" E	15.00'	0.5	6" PERF. PVC
17	N 90°00'00" E	60.00'	0.5	6" PERF. PVC
18	N 89°55'53" W	137.06'	0.5	18" HDPE
19	N 90°00'00" E	88.02'	0.8	36" HDPE
20	N 90°00'00" E	504.58'	0.8	36" HDPE
21	N 00°00'00" W	84.08'	0.5	36" HDPE
22	N 00°00'51" E	119.24'	0.5	36" HDPE
23	N 00°00'51" E	30.76'	0.5	36" HDPE
24	N 00°00'51" E	364.27'	0.5	36" HDPE
25	N 00°00'51" E	91.69'	0.5	36" HDPE
26	N 60°02'31" E	47.00'	0.5	36" HDPE
27	N 67°52'31" E	91.99'	0.5	36" HDPE
28	N 00°00'00" E	15.51'	9.5	12" HDPE
29	N 06°14'32" E	61.15'	0.5	12" HDPE
30	N 89°34'33" W	121.75'	0.5	8" PVC
31	N 00°00'00" E	66.00'	0.5	8" PVC
32	N 00°00'00" E	66.00'	0.5	8" PVC
33	N 00°00'18" W	66.00'	1.5	8" PVC
34	N 00°00'00" E	66.00'	1.9	8" PVC
35	N 00°00'00" E	7.66'	0.5	18" HDPE
36	N 89°59'09" W	25.32'	0.5	12" HDPE
37	N 89°59'09" W	9.16'	0.5	18" HDPE
38	N 90°00'00" W	56.68'	0.5	18" HDPE
39	N 00°00'00" W	15.39'	0.5	12" HDPE
40	N 00°00'00" E	66.00'	0.5	12" HDPE
41	N 00°00'00" E	40.61'	0.5	12" HDPE
42	N 00°00'00" E	66.00'	0.5	12" HDPE
43	N 89°59'09" W	25.36'	0.5	12" HDPE
44	N 89°59'09" W	25.45'	0.5	12" HDPE
45	N 22°21'06" W	65.74'	2.7	18" HDPE
46	N 00°00'00" E	66.01'	0.8	18" HDPE
47	N 00°00'00" E	66.00'	0.7	12" HDPE
48	N 00°00'00" E	66.00'	0.6	12" HDPE
49	N 90°00'00" E	41.78'	0.8	36" HDPE
50	N 64°41'34" E	40.09'	22.4	12" HDPE
51	N 90°00'00" E	55.87'	0.5	12" HDPE



SITE PHASING - 1
 GRADING PLAN
 July 24, 2024

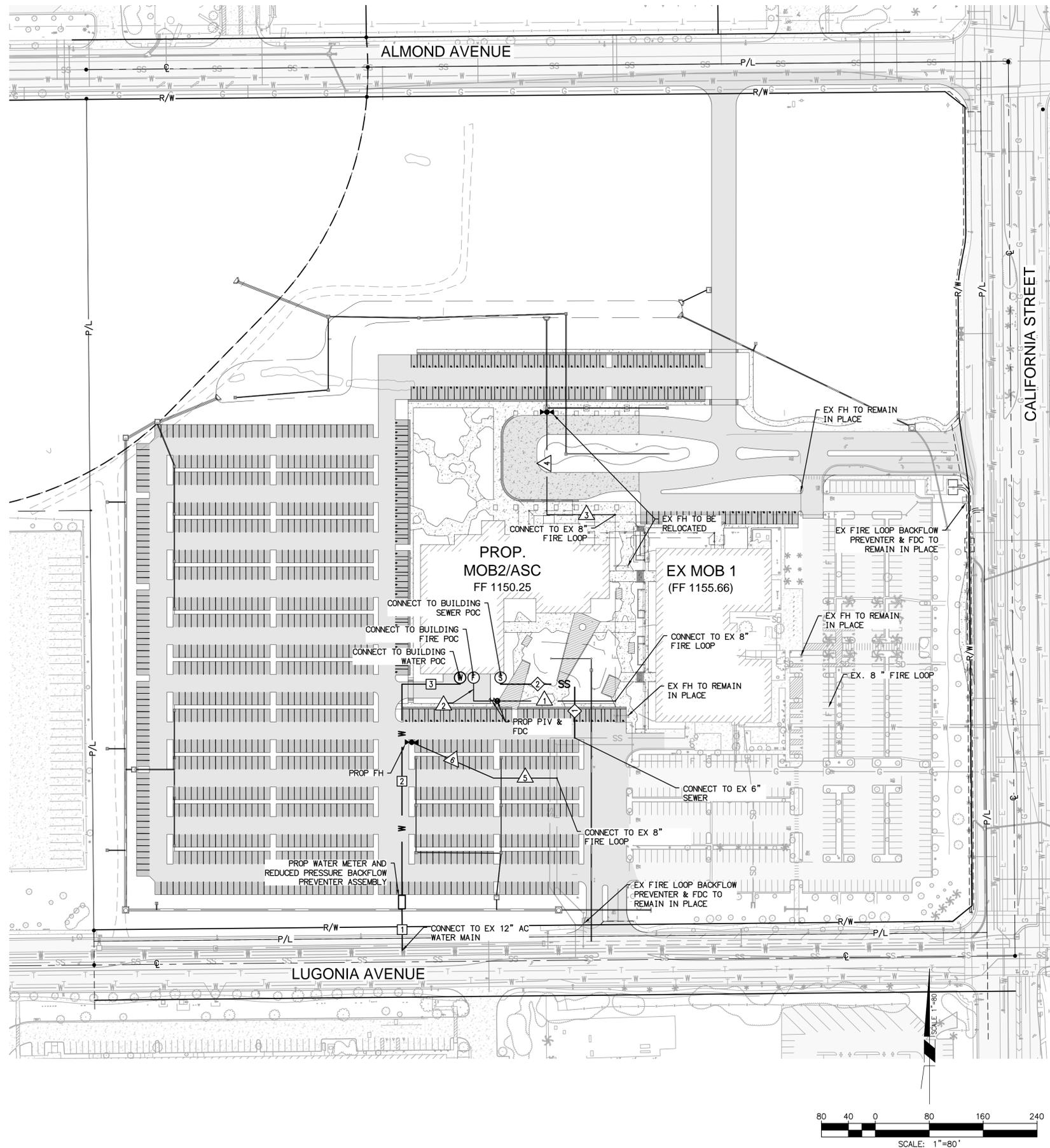


REDLANDS MEDICAL CENTER

Sheet: C2.01

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 303 E Walnut Street, Pasadena, CA 91108
ARCHITECT: ENGINEER: DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000



LEGEND

- WATER LINE — W —
- SEWER LINE — SS —
- FIRE LINE — F —
- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- UTILITY POC

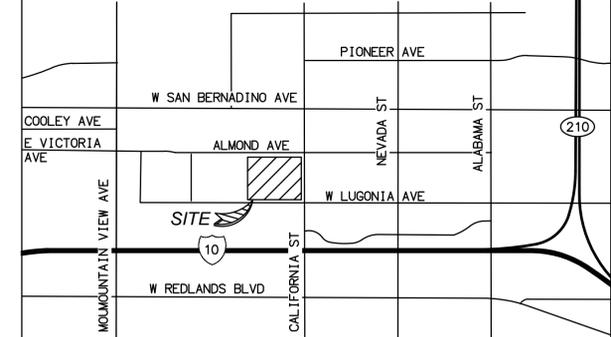
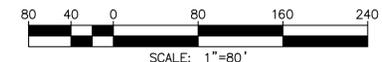
WATER GENERAL NOTES

1. MATERIAL AND INSTALLATION SHALL CONFORM TO THE CITY OF REDLANDS MUNICIPAL WATER DIVISION STANDARD SPECIFICATION (LATEST REVISION THEREOF).
2. THE APPROXIMATE LOCATIONS OF EXISTING UNDERGROUND UTILITY LINES ARE SHOWN IN THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA, AND THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK, THE CONTRACTOR AGREES PRIOR TO EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK, AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR TRUNKLINE UTILITY FACILITIES.
3. ALL SERVICE CONNECTIONS TO BE MINIMUM 1-INCH COPPER LATERALS.
4. STANDARD WATER MAIN LOCATION IS 7 FEET OFF CURB FACE.
5. THIS DRAWING IS SCHEMATIC ONLY, DO NOT SCALE.
6. THE CONTRACTOR SHALL MAKE ALL WATER MAIN CONNECTIONS TO EXISTING WATER MAINS, UNLESS OTHERWISE NOTED.
7. EXISTING UTILITIES ARE SHOWN ON DEVELOPMENT PLAN.
8. HYDRO TEST TO 150 P.S.I., OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR MIN 2 HOUR DURATION AT THE LOWEST POINT IN THE WATER MAIN.
9. BUTTERFLY VALVES TO BE DRESSER 450 OR KENNEDY ADAP-TORQ, CLOW STYLE #2810.
10. CONTRACTOR SHALL USE DOUBLE STRAP SERVICE CLAMPS OR H.D. TAPPED COUPLINGS WHEN CONNECTING SERVICE LATERALS.
11. CONTRACTOR SHALL NOTIFY CITY 48 HOURS PRIOR TO SHUTDOWN OF WATER MAINS.
12. INSTALLATION SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS AND LATEST CITY SPECIFICATIONS AND/OR AS DIRECTED BY THE ENGINEER.
13. METER BOXES IN THE SIDEWALK SHALL HAVE CAST IRON LIDS.
14. PROVIDE A MINIMUM OF 10 FOOT SEPARATION BETWEEN SEWER AND WATER LATERALS WHERE POSSIBLE.
15. BACKFILL COMPACTION AND RE-SURFACING IN EXISTING STREETS SHALL CONFORM TO STREET DIVISION SPECIFICATIONS (LATEST REVISION THEREOF).
16. ALL VALVES INSTALLED BY THE CONTRACTOR SHALL BE ACCESSIBLE FOR OPERATION WITH COMPLETE VALVE BOX TO GRADE DIRECTLY FOLLOWING CONNECTION TO EXISTING WATER SYSTEM.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SIZING OF THRUST BLOCKS BASED ON FIELD CONDITIONS. THE SIZE SHOWN ON THE PLANS IS THE MINIMUM SIZE REQUIRED.
18. SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED.
19. IF WATER MAINS ARE ABANDONED AS A RESULT OF THIS PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RECONNECTION OR REPLACEMENT OF SERVICE LATERALS AS DIRECTED BY THE CITY INSPECTOR. SERVICE LATERALS THAT ARE REPLACED SHALL BE THE SAME SIZE AS EXISTING.
20. INTERIOR WATER SYSTEM INCLUDING FIRE HYDRANTS SHALL BE COMPLETE AND ACCEPTED BY THE CITY BEFORE ANY FRAMING PERMITS WILL BE ISSUED. CONTACT CITY FIRE MARSHALL FOR INTERIOR SYSTEM INSPECTIONS.
21. CONTACT THE MUNICIPAL WATER DIVISION 48 HOURS PRIOR TO ANY WATER SYSTEM CONSTRUCTION.
22. WHERE DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL INSTALL POLY PIGS AND POLY PIG OUTLETS. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS IN ADVANCE TO REQUEST THE CITY TO FLUSH POLY PIGS THROUGH THE MAINS. THE FLUSHING PROCESS SHALL TAKE PLACE PRIOR TO HYDROSTATIC TESTING CHLORINATION AND FINAL FLUSHING OF THE MAIN BY THE CONTRACTOR. FINAL CONNECTIONS SHALL NOT BE MADE PRIOR TO BACTERIA TEST SAMPLES THAT MEET CITY REQUIREMENTS AND AUTHORIZATION FOR TIE-INS BY THE CITY INSPECTOR.
23. A COMPLETE SET OF AS BUILT DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT PRIOR TO FINAL INSPECTION.
24. THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING CITY WATER SYSTEM VALVES.
25. WATER VALVE CANS SHALL BE PER SPEC A-20514 (SLIP CAN TYPE).

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 90°00'00" E	--	210.26'	4" PVC (C900 DR14)
2	N 00°00'00" E	--	34.73'	4" PVC (C900 DR14)
3	N 90°00'00" E	--	24.00'	6" PVC (C900 DR14)
4	N 00°00'00" E	--	151.59'	6" PVC (C900 DR14)
5	N 90°00'00" E	--	93.98'	6" PVC (C900 DR14)
6	N 66°27'53" W	--	132.49'	6" PVC (C900 DR14)

NO	BEARING/DELTA	LENGTH	SIZE/TYPE
1	N 00°33'50" W	61.38'	6" PVC (C900 DR18)
2	N 00°00'00" E	286.75'	6" PVC (C900 DR18)
3	N 90°00'00" E	86.25'	4" PVC (C900 DR18)

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 00°00'00" E	--	79.32'	6" PVC (SDR-35)
2	N 90°00'00" E	--	110.10'	6" PVC (SDR-35)



VICINITY MAP
N.T.S.

SEWER GENERAL NOTES

1. SEWER INSTALLATION IS TO BE IN ACCORDANCE WITH THESE PLANS AND THE STANDARD SPECIFICATIONS AND DETAIL DRAWINGS OF THE CITY OF REDLANDS LATEST REVISION THEREOF.
2. ALL SEWER PIPE ELEVATIONS GIVEN REFER TO THE FLOW LINE INVERT ELEVATIONS.
3. THE APPROXIMATE LOCATIONS OF KNOWN EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA. THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK THE CONTRACTOR AGREES, PRIOR TO ANY EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR SERVICE UTILITY FACILITIES.
4. SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED FOR ALL SEWER PIPE MAY BE REQUIRED IF IN THE OPINION OF THE CITY, THE NATIVE BACKFILL MATERIAL IS DEEMED UNSUITABLE.
5. PVC SEWER IS NOT PERMITTED ON ANY HORIZONTAL OR VERTICAL CURVE.
6. THE CONTRACTOR SHALL AIR TEST THE SEWER SYSTEM IN ACCORDANCE WITH CITY STANDARDS AFTER ALL OTHER UTILITIES HAVE BEEN INSTALLED AND COMPLETED WITHIN THE TRACT OR DEVELOPMENT. IN ADDITION, AFTER FINAL AIR TEST, THE CONTRACTOR SHALL CONNECT THE SEWER LATERALS TO THE HOUSE LATERALS AT THE PROPERTY.
7. SEWER LATERALS SHALL BE CLEARLY MARKED WITH AN "L" CHISELED IN CURB FACE.
8. REQUIRED SEPARATION OF THE WATER AND SEWER MAINS AND LATERALS SHALL BE STRICTLY ADHERED TO. INSTALLATION SHALL COMPLY WITH THE STATE DEPARTMENT OF HEALTH REGULATIONS AND BE A MINIMUM OF 10 FEET SEPARATION.
9. SEWER LATERAL LOCATIONS SHALL NOT BE CHANGED MORE THAN 3 FEET (HORIZONTAL) WITHOUT AUTHORIZATION FROM THE CITY.
10. IF PLASTIC SEWER PIPE IS USED, A MANDREL TEST SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE CITY INSPECTOR IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE MUNICIPAL UTILITIES DEPARTMENT. LATEST REVISIONS EXCEPT THE MANDREL SHALL BE SUPPLIED BY THE PIPE MANUFACTURER APPROVED BY CITY OF REDLANDS AND SHALL BE PULLED THROUGH THE PIPE BY HAND. PVC PIPE-MAXIMUM 15" DIAMETER ALLOWABLE.
11. PRIOR TO PAVING OF STREETS OVER A NEW SEWER MAIN ALL COMPACTION TESTS, AIR TESTS, BALLING AND MANDREL TESTS SHALL BE COMPLETED AND APPROVED BY THE CITY AND A COMPLETE SET OF AS-BUILT DRAWINGS SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF AS-BUILT DRAWINGS.
12. PRIOR TO ACCEPTANCE BY THE CITY, NEW SEWER LINE SHALL REMAIN PLUGGED AT OR PHYSICALLY SEPARATED FROM THE DOWNSTREAM MANHOLE AND STREETS SHALL BE PAVED.
13. THE CONTRACTOR SHALL REPLACE EXISTING STRIPING AS NECESSARY. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR SEWER CONSTRUCTION FROM THE CITY OF REDLANDS PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCEMENT OF WORK.
14. PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (A.S.T.M.) DESIGNATION D-3034, 15" MAXIMUM SIZE, SDR 35 LATEST REVISION.
15. THE JOINTING OF PVC SEWER PIPE SHALL BE BY USING ELECTROMETRIC GASKET JOINTS. THE CRITICAL SEALING DIMENSIONS OF THE BELL, SPIGOT, AND GASKET SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARD DIMENSIONS AND TOLERANCES.
16. MANHOLE RIM ELEVATIONS INDICATED HEREON ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL RIMS TO FINAL FINISH GRADE, IN COORDINATION WITH STREET IMPROVEMENTS.
17. ALL SEWER STATIONS ARE CENTERLINE SEWER MAIN UNLESS OTHERWISE INDICATED.
18. DURING THE PERIOD OF CONSTRUCTION THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN ALL WARNINGS, SIGNS, BARRICADES, AND OTHER SAFETY MEASURES IN CONFORMANCE WITH THE STATE MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, LATEST EDITION. THE CONTRACTOR SHALL PROVIDE SAFE AND CONTINUOUS PASSAGE FOR PEDESTRIAN AND VEHICULAR TRAFFIC AT ALL TIMES.

UNDERGROUND UTILITY NOTE

THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE GENERATED FROM RECORDS AND/OR UTILITY PROVIDER RECORD MAPS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERE TO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.

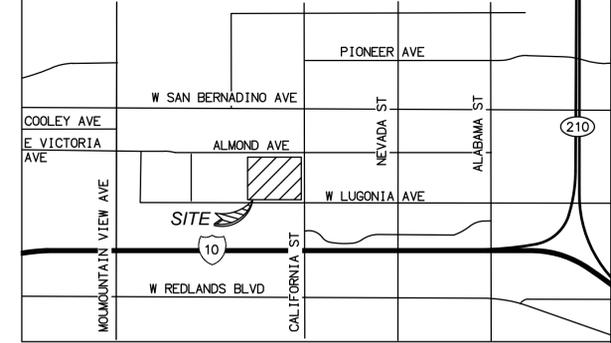
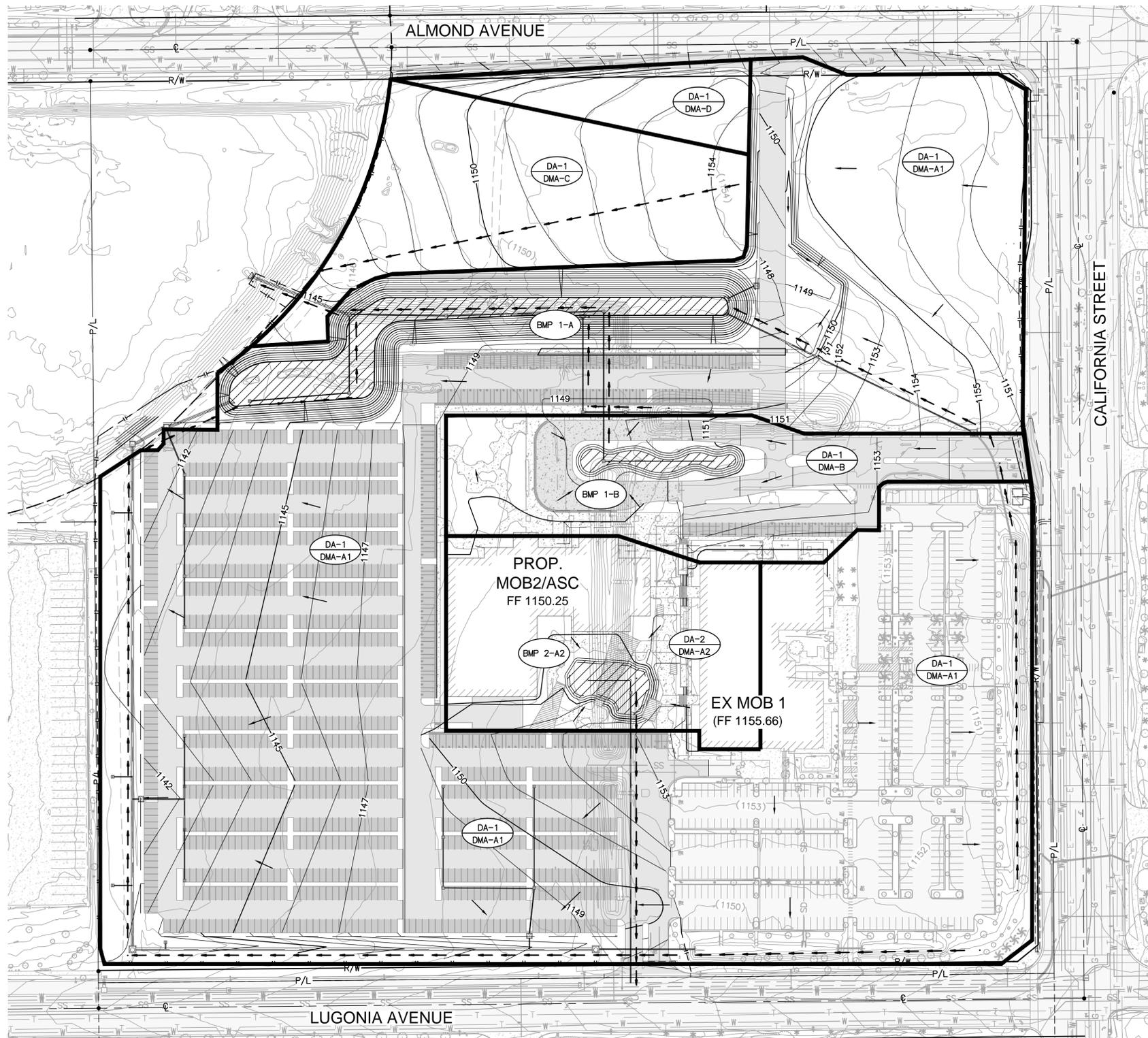
SITE PHASING - 1
UTILITY PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

Sheet: **C2.02** CITY OF REDLANDS

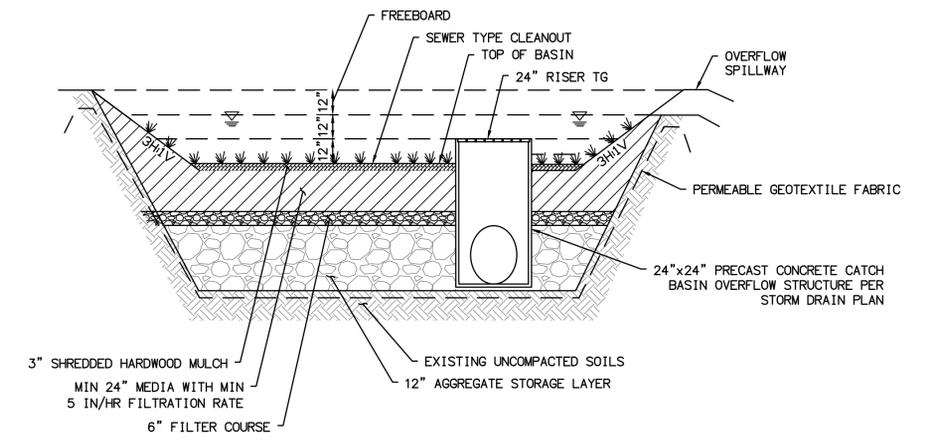
Site Development Plan Number: _____
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 303 E. Walnut Street Pasadena, CA 91188
 ARCHITECT: ENGINEER: DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE



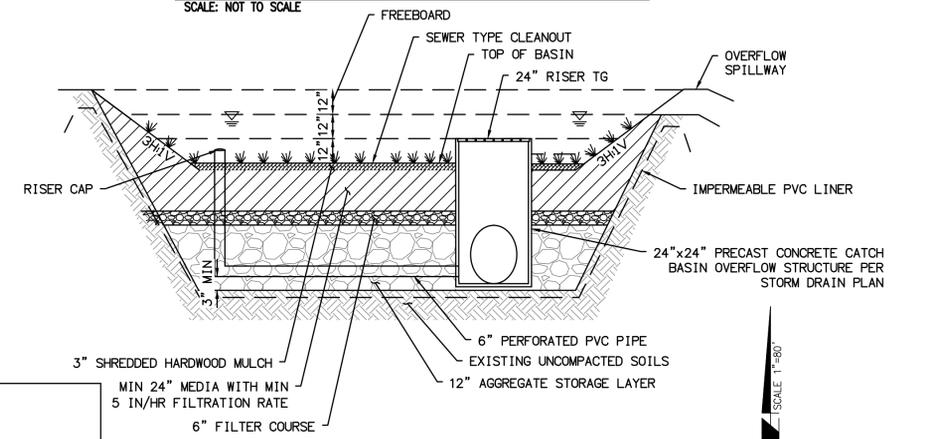
VICINITY MAP
N.T.S.

LEGEND

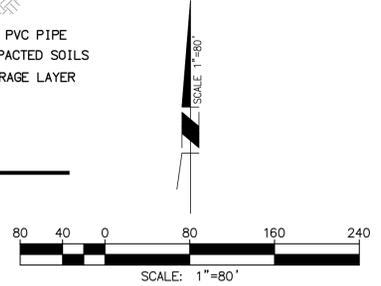
- STORM WATER BASIN
- DRAINAGE BOUNDARY
- FLOW ARROW
- FLOW DIRECTION
- DMA/DA ID
- BMP ID



TYPICAL BIO-INFILTRATION BASIN DETAIL
SCALE: NOT TO SCALE



TYPICAL BIO-RETENTION BASIN DETAIL
SCALE: NOT TO SCALE



DA	DMA	BMP ID	TOTAL AREA (SF)	IMPERVIOUS RATIO	DMA RUNOFF FACTOR	DESIGN CAPTURE VOLUME (CF)	BMP PROPOSED SURFACE AREA (SF)	VOLUME RETAINED BY BMP (CF)	BMP TYPE
1	A1	BMP 1-A	1,061,383	76%	0.55	68,265	26,864	68,369	BIORETENTION WITH NO UNDERDRAIN
1	*B	BMP 1-B	119,334	85%	0.66	9,156	4,053	9,423	BIORETENTION WITH UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
1	C	SELF TREATING	119,785	0%	0.04	643	N/A	N/A	SELF TREATING (NO EXISTING OR PROPOSED IMPERVIOUS AREA)
1	D	SELF TREATING	33,541	0%	0.04	156	N/A	N/A	SELF TREATING (NO EXISTING OR PROPOSED IMPERVIOUS AREA)
2	*A2	2-A2	152,236	85%	0.66	11,680	5,117	11,897	BIORETENTION WITH UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)

*DESIGNED TO THE LARGER ULTIMATE DESIGN CAPTURE VOLUME (DCV).

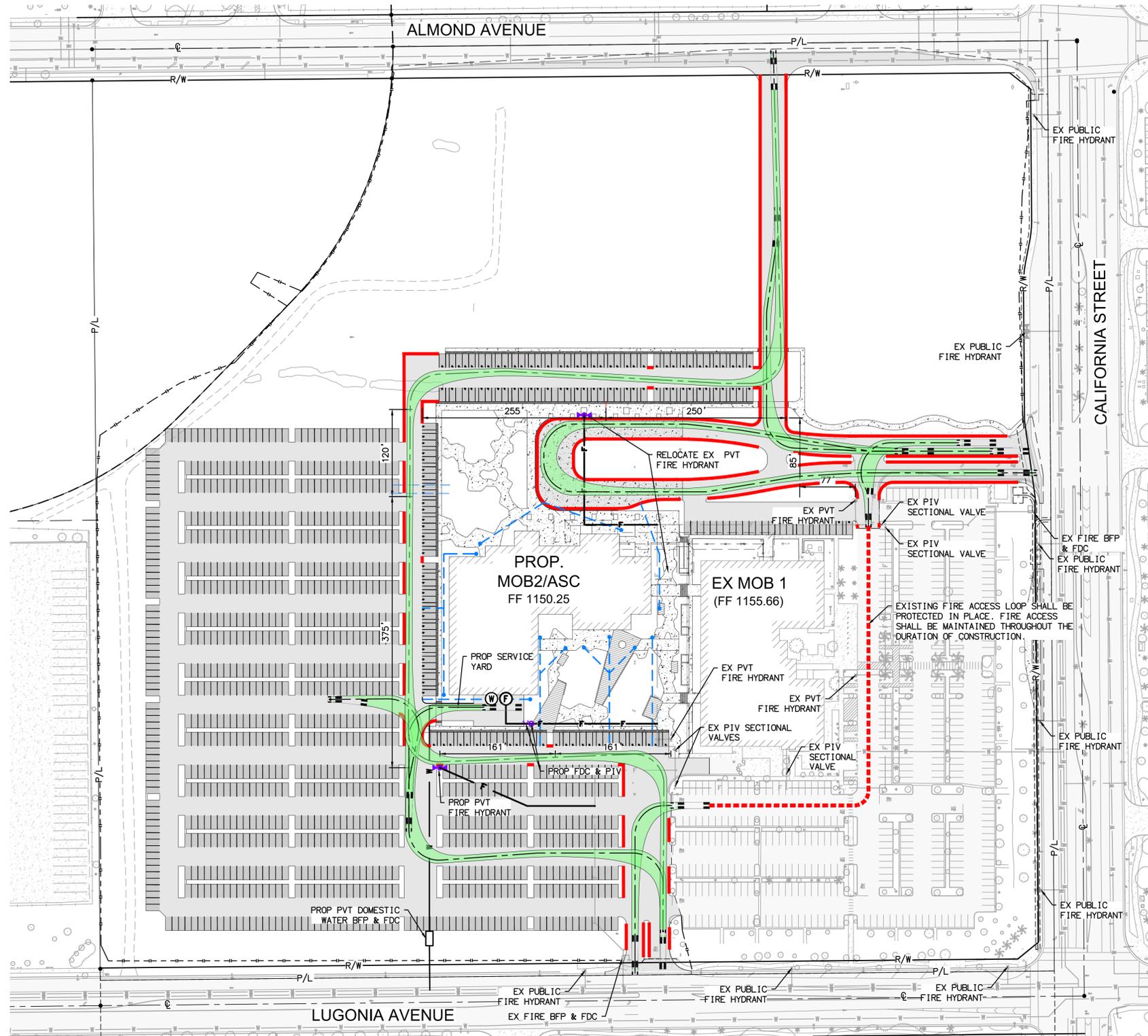
SITE PHASING - 1
BMP PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

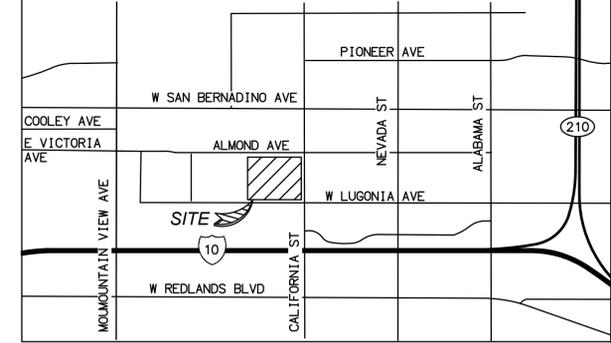
Sheet: C2.03 CITY OF REDLANDS

Site Development Plan Number: _____
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 383 E. Walnut Street, Pasadena, CA 91108
 ARCHITECT/ENGINEER DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE



FIRE PROTECTION LEGEND

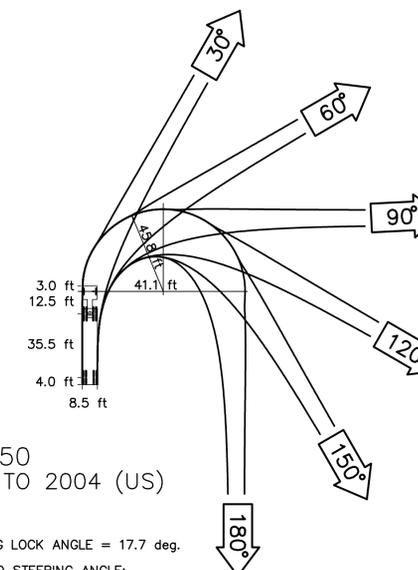
- PROPOSED FIRE HYDRANT
- PROPOSED PIV
- PROPOSED FDC
- PROPOSED FIRE MAIN
- HOSE PULL (150' MAX)
- RED PAINTED CURB
- FIRE TRUCK TURNING MOVEMENT
- EXISTING FIRE HYDRANT
- EXISTING PIV
- EXISTING FDC
- EXISTING FIRE MAIN
- EXISTING FIRE ROUTE



VICINITY MAP
N.T.S.

FIRE NOTES

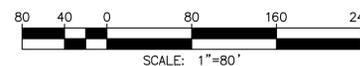
- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4
- STREET OR ROAD SIGNS - TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. CFC 505.2
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
- CLEAR SPACE AROUND HYDRANTS - A THREE (3) FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED. CFC 507.5.5
- PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION 312. CFC 507.5.6
- DEAD ENDS - DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5
- SECURITY GATES - WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM G 2200.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OF BUILDING FEATURES SHALL NO OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- APPROVED DOCUMENTS - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. CFC 105.4.4

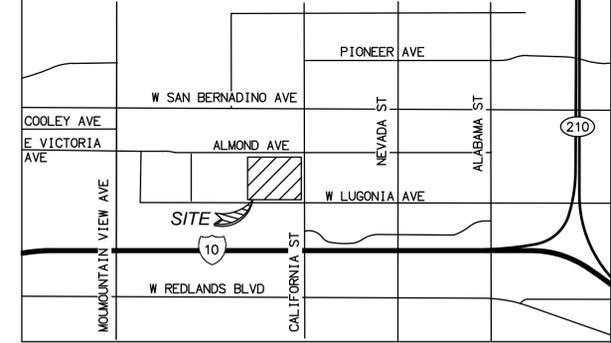
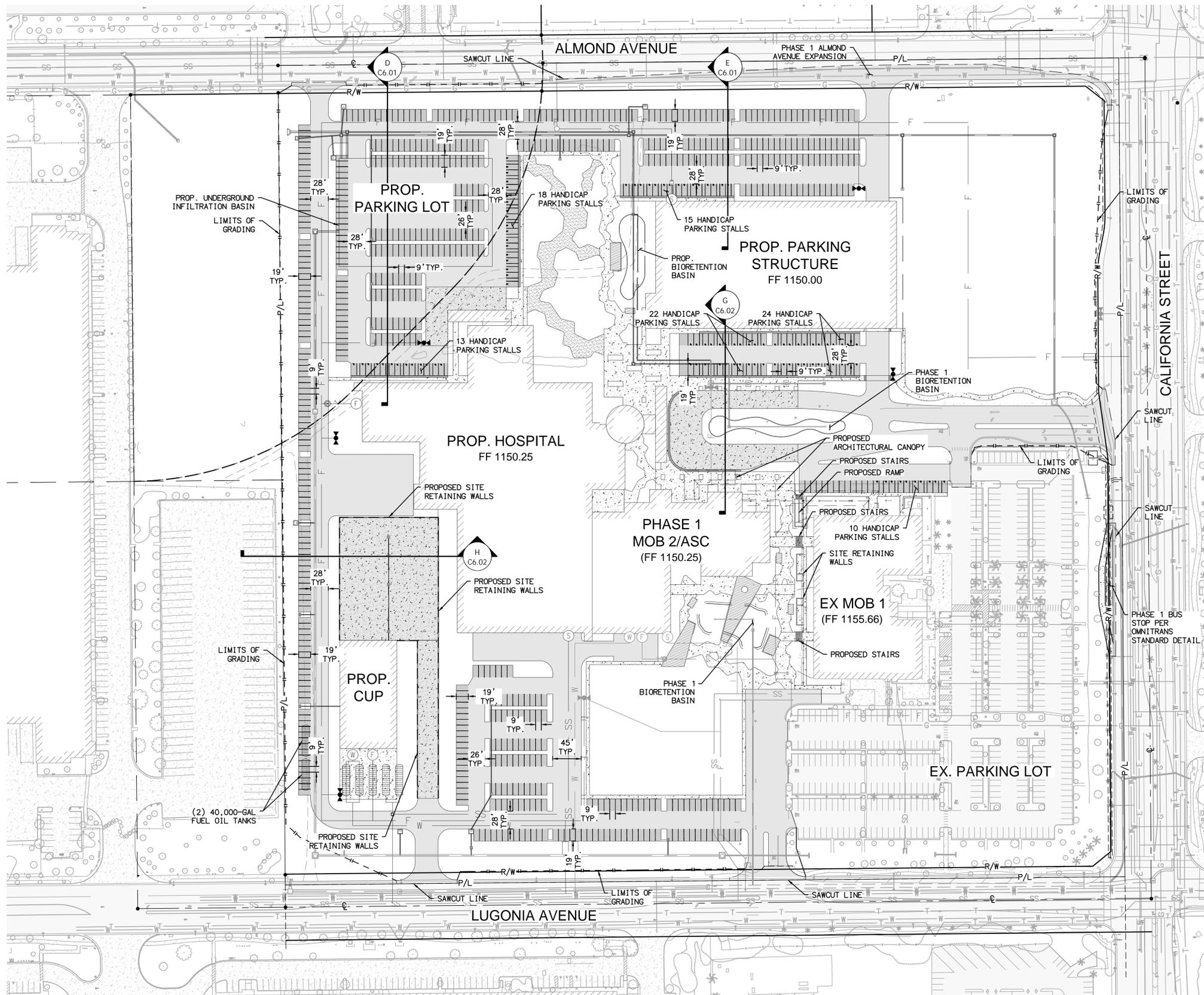


WB-50		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Track	: 8.50	Steering Angle	: 17.7
Trailer Width	: 8.50	Articulating Angle	: 70.0
Trailer Track	: 8.50		

BUILDING	OCCUPANCY CLASS (CBC-CH.3)	CONSTRUCTION TYPE (CBC-CH.6)	SQUARE FOOTAGE CALC (SF)	AUTO SPRINKLER SYS. (Y/N/PART)	FIRE FLOW (GPM) (CFC-B105.2)	REDUCED FIRE FLOW (GPM) (CFC-B105.2)	FLOW DURATION @ REDUCED FLOW (HR) (CFC-B105.2)	MIN. NO. FIRE HYDRANTS (FH) (CFC-C102.1)	REQUIRED AVG. FH SPACING (FT) (CFC-C102.1)	PROPOSED AVG. FH SPACING (FT)	MAX SPACING ACCESS ROAD TO FH (FT) (CFC-C102.1)
PROP MOB	B	1A	165,000 *	Y	4,500 *	1,125 **	2	1	750 ***	357	375 ***

* - FOR TYPE 1A & 1B CONSTRUCTION, SQUARE FOOTAGE CALC FOR OPEN PARKING GARAGE SHALL BE DETERMINED BY AREA OF LARGEST FLOOR (CFC-B104.3)
 ** - REDUCED FIRE FLOW SHALL NOT BE LESS THAN 1,000 GPM (CFC-B105.2)
 *** - 50% SPACING INCREASE FOR BUILDINGS EQUIPPED THROUGHOUT WITH APPROVED AUTO SPRINKLER SYSTEM IN ACCORDANCE WITH CFC-903.3.1.1 (CFC-C102.1)

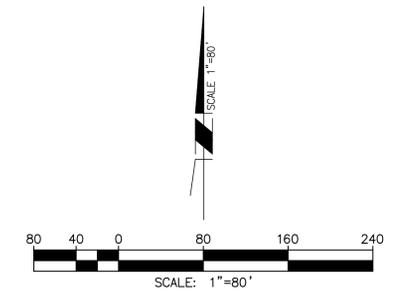


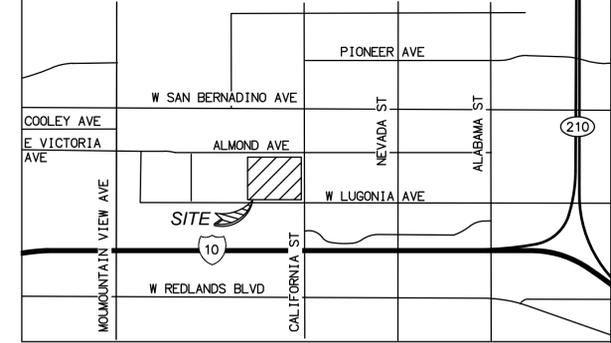
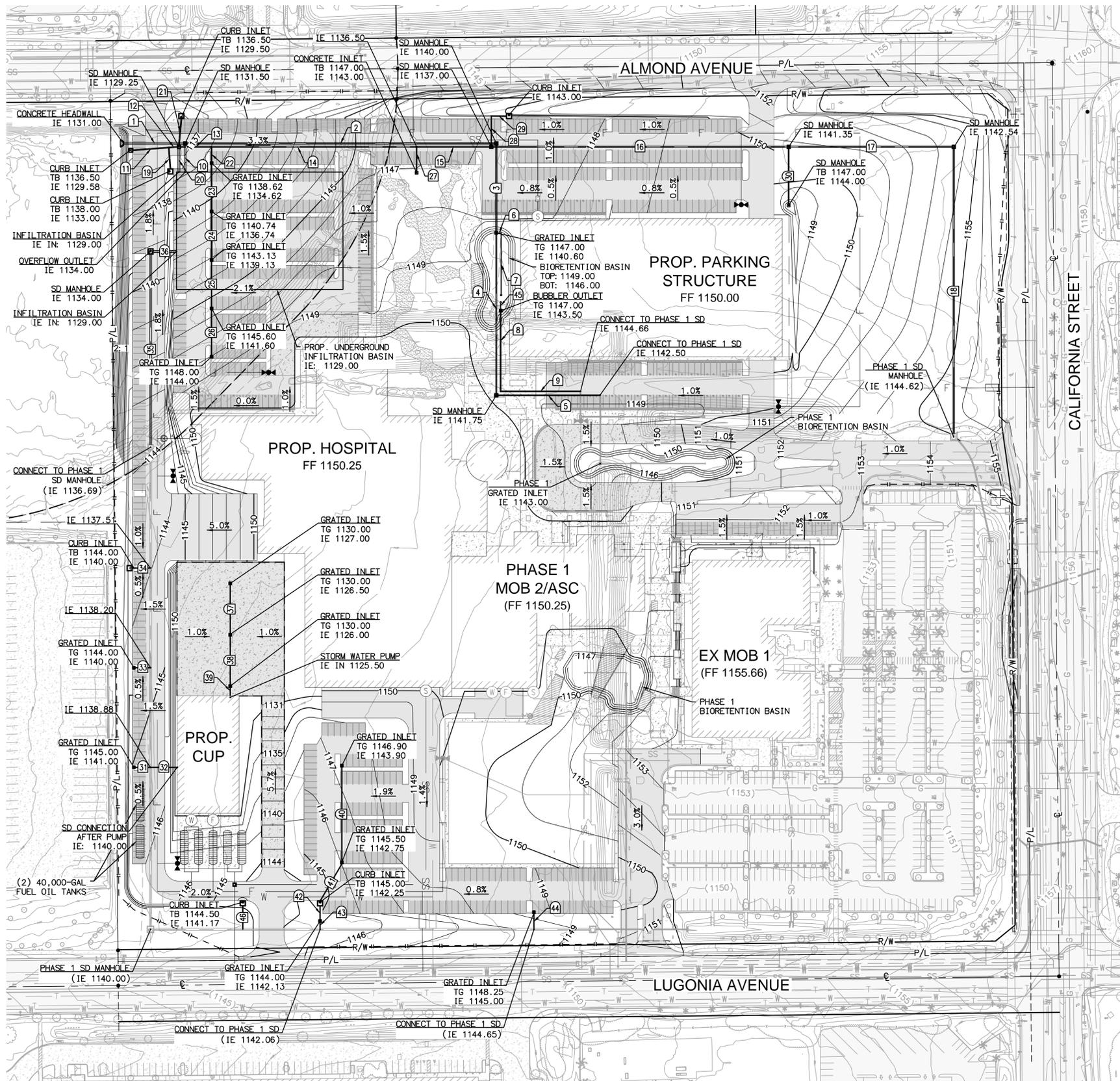


VICINITY MAP
N.T.S.

LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
AC PAVEMENT	▨
HEAVY VEHICULAR AC PAVEMENT	▨
HEAVY VEHICULAR CONCRETE PAVEMENT	▨
PEDESTRIAN CONCRETE PAVEMENT	▨
DG PATH	▨
PROPOSED BUILDING	▨
TRUNCATED DOMES	▨
LIMITS OF WORK LINE	---
SITE RETAINING WALL	---





VICINITY MAP
N.T.S.

LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- DAYLIGHT LINE
- STORM DRAIN
- CURB INLET
- STORM DRAIN MANHOLE
- CATCH BASIN INLET
- CONCRETE HEADWALL
- CONCRETE STRUCTURE INLET

EARTHWORK

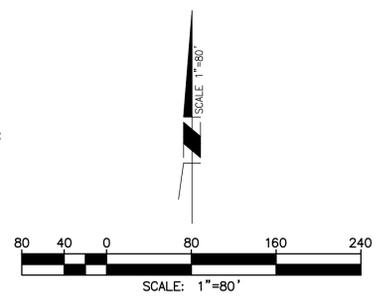
CUT: 79,000 CY
 FILL: 105,000 CY
 NET: 26,000 CY FILL

GRADING GENERAL NOTES

1. ALL GRADING AND ON-SITE CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF THE UNIFORM BUILDING CODE, LATEST EDITION, APPENDIX CHAPTER 33 AND THE CALIFORNIA BUILDING CODE, LATEST EDITION. THESE CODES ARE AMENDED IN THE CITY OF REDLANDS MUNICIPAL CODE. IF CONTRADICTIONS ARISE BETWEEN PROVISIONS IN THESE PLANS FROM THOSE IN THE VARIOUS CODES, THE MOST RESTRICTIVE PROVISIONS WILL GOVERN.
2. AFTER THE GRADING PERMIT HAS BEEN ISSUED, THE PROJECT MANAGER SHALL CONVENE AN ON-SITE PRECONSTRUCTION MEETING WITH THE CITY OF REDLANDS INSPECTOR, THE ENGINEER OF RECORD, THE GEOTECHNICAL ENGINEER AND THE GRADING CONTRACTOR. AT THIS MEETING, THE PROJECT SUPERINTENDENT SHALL BE IDENTIFIED AND AN EMERGENCY CONTACT PERSON SHALL BE IDENTIFIED TO THE INSPECTOR.
3. USE BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT AND CONTAIN ILLEGAL DISCHARGES WITHIN THE PROJECT BOUNDARY. THIS WILL BE IN EFFECT FOR THE ENTIRE DURATION OF THE PROJECT CONSTRUCTION TO ITS COMPLETION.
4. BUILDING PERMITS SHALL NOT BE ISSUED UNTIL THE PROJECT SITE HAS BEEN GRADED AND THE ENGINEER OF RECORD HAS CERTIFIED TO THE SATISFACTION OF THE CITY ENGINEER THAT THE SITE HAS BEEN PREPARED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS REPORT(S) AND TO THE SPECIFICATIONS OF THE APPROVED GRADING PLANS. IN ADDITION, A FINAL COMPACTION REPORT SHALL BE SUBMITTED TO BOTH THE INSPECTOR AND THE BUILDING OFFICIAL FOR APPROVAL.
5. A WRITTEN REPORT BY A GEOTECHNICAL ENGINEER IS TO BE FURNISHED TO BOTH THE CITY'S MUNICIPAL UTILITIES AND ENGINEERING DEPARTMENT AND BUILDING AND SAFETY DIVISION, TO CERTIFY THAT ALL FILL MATERIAL AND MATERIAL UPON WHICH FILL IS TO BE PLACED IS ADEQUATE TO SUPPORT THE LOADS OF THE PROPOSED DEVELOPMENT. THIS REPORT SHALL INCLUDE SOIL TEST DATA ON ALL FILLS OF TWO FEET OR MORE.
6. PREPARATION OF THE SITE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE INSTRUCTIONS OF A GEOTECHNICAL ENGINEER AND ALL FILLS WILL BE MADE UNDER HIS DIRECTION.
7. IN NO CASE IS ANY SLOPE TO EXCEED A GRADIENT OF TWO HORIZONTAL TO ONE VERTICAL (2:1).
8. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITY LINES, STRUCTURES OR IRRIGATION LINES. THE CONTRACTOR IS TO MAKE AN ON-SITE INSPECTION AND NOTIFY ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND FACILITIES.
9. THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR CLEARING THE SITE IN PREPARATION FOR CONSTRUCTION.
10. THE ENGINEER'S ESTIMATE IS 79,000 CY OF EXCAVATION AND 105,000 CY OF EMBANKMENT FOR THE SITE GRADING. THESE ARE RAW QUANTITIES WITHOUT ALLOWANCES FOR LOSS, SHRINKAGE OR COMPACTION.
11. INSTALL FIRE HYDRANTS AS REQUIRED PRIOR TO THE DELIVERY OF ANY BUILDING MATERIAL TO THE SITE.
12. BENCHMARK: ENTER PROJECT SPECIFIC DATA HERE. ELEVATION:
13. ALL SLOPES THREE FEET OR GREATER MUST BE LANDSCAPED AND IRRIGATED PRIOR TO OCCUPANCY.
14. ACREAGE OF THE PROJECT IS: ACRE(S).
15. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY WALLS, SIDEWALKS, SLABS, PAVING, ETC. TO BE CONSTRUCTED ON-SITE AS SHOWN HEREON. A SEPARATE PERMIT IS REQUIRED FROM THE BUILDING AND SAFETY DIVISION FOR THE CONSTRUCTION OF THESE ON-SITE ITEMS.
16. ALL EARTHWORK SHALL CONFORM TO THE PRELIMINARY GEOTECHNICAL AND/OR GEOLOGIC INVESTIGATION REPORT FOR _____ PREPARED BY _____, DATED _____.
17. THE ENGINEER OF RECORD MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES.
18. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS PRIOR TO POURING ANY CONCRETE.

STORM DRAIN DATA TABLE

NO	BEARING/Delta	LENGTH	SLOPE (%)	SIZE/TYPE
1	N 90°00'00" E	87.18'	0.6	36" HDPE
2	N 90°00'00" W	447.86'	1.9	24" HDPE
3	N 00°00'00" E	125.48'	0.5	24" HDPE
4	N 00°00'00" E	230.78'	0.5	18" HDPE
5	N 89°58'32" E	149.13'	0.5	18" HDPE
6	N 90°00'00" E	5.00'	0.5	6" PERF. PVC
7	N 00°00'00" E	90.00'	0.5	6" PERF. PVC
8	N 00°00'00" E	114.85'	0.5	18" HDPE
9	N 90°00'00" E	115.99'	0.5	18" HDPE
10	N 00°00'00" E	39.44'	6.3	36" HDPE
11	N 85°41'29" E	52.85'	0.5	18" HDPE
12	N 85°41'29" E	12.76'	0.5	18" HDPE
13	N 89°59'09" E	45.43'	1.7	24" HDPE
14	N 90°00'00" E	297.76'	1.7	24" HDPE
15	N 90°00'00" E	106.62'	1.7	24" HDPE
16	N 90°00'00" W	427.81'	1.0	24" HDPE
17	N 90°00'00" W	235.84'	0.5	24" HDPE
18	N 00°00'00" W	413.13'	0.5	24" HDPE
19	N 04°18'31" W	31.36'	11.7	18" HDPE
20	N 00°00'00" E	34.43'	0.7	36" HDPE
21	N 05°16'30" E	39.53'	0.6	18" HDPE
22	N 00°00'00" E	21.44'	20.3	18" HDPE
23	N 00°00'00" E	66.00'	3.2	18" HDPE
24	N 00°00'00" E	66.00'	3.6	18" HDPE
25	N 00°00'00" E	66.00'	3.7	12" HDPE
26	N 00°00'00" W	66.00'	3.6	12" HDPE
27	N 00°00'00" E	37.64'	17.3	12" HDPE
28	N 00°00'35" W	42.55'	9.2	12" HDPE
29	N 89°59'12" E	22.44'	9.2	12" HDPE
30	N 00°00'00" E	80.75'	3.3	18" HDPE
31	N 89°59'12" E	22.09'	9.6	12" HDPE
32	N 90°00'00" W	38.96'	2.9	12" HDPE
33	N 89°59'12" E	22.19'	8.1	12" HDPE
34	N 89°59'12" E	22.19'	11.2	12" HDPE
35	N 00°00'00" E	276.56'	1.0	36" HDPE
36	N 90°00'00" E	34.49'	14.5	36" HDPE
37	N 00°00'00" E	70.18'	0.7	12" HDPE
38	N 00°00'00" E	70.18'	0.7	12" HDPE
39	N 00°00'00" W	11.90'	4.2	12" HDPE
40	N 00°00'48" W	136.05'	0.8	12" HDPE
41	N 30°23'34" E	62.37'	0.8	12" HDPE
42	N 00°00'00" E	20.59'	0.6	12" HDPE
43	N 00°00'00" E	9.91'	0.6	12" HDPE
44	N 00°00'00" E	22.71'	1.5	12" HDPE
45	N 00°00'00" E	10.00'	0.5	6" PERF. PVC
46	N 00°00'00" E	34.51'	0.5	12" HDPE



SITE PHASING - 2
 GRADING PLAN
 July 24, 2024

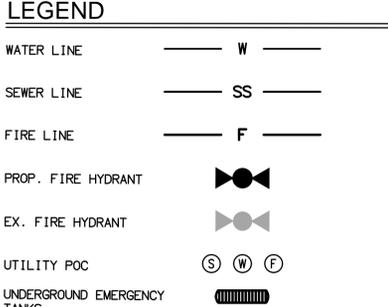
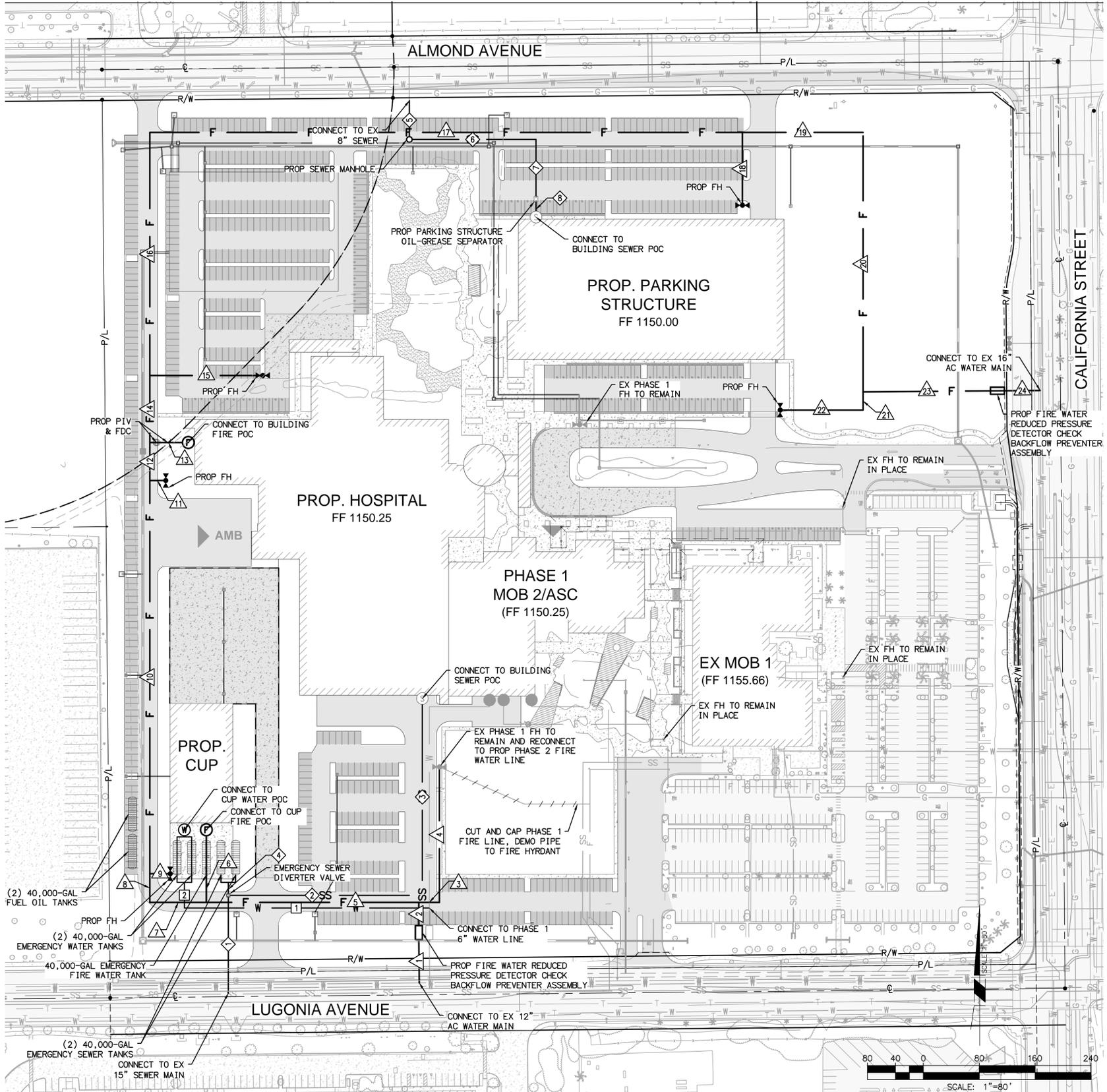


REDLANDS MEDICAL CENTER

Sheet: C3.01

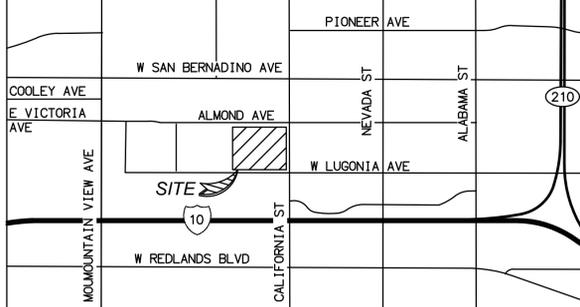
CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 303 E Walnut Street, Pasadena, CA 91108
ARCHITECT/ENGINEER DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



WATER GENERAL NOTES

- MATERIAL AND INSTALLATION SHALL CONFORM TO THE CITY OF REDLANDS MUNICIPAL WATER DIVISION STANDARD SPECIFICATION (LATEST REVISION THEREOF).
- THE APPROXIMATE LOCATIONS OF EXISTING UNDERGROUND UTILITY LINES ARE SHOWN IN THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA, AND THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK, THE CONTRACTOR AGREES PRIOR TO EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK, AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR TRUNKLINE UTILITY FACILITIES.
- ALL SERVICE CONNECTIONS TO BE MINIMUM 1-INCH COPPER LATERALS.
- STANDARD WATER MAIN LOCATION IS 7 FEET OFF CURB FACE.
- THIS DRAWING IS SCHEMATIC ONLY, DO NOT SCALE.
- THE CONTRACTOR SHALL MAKE ALL WATER MAIN CONNECTIONS TO EXISTING WATER MAINS, UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES ARE SHOWN ON DEVELOPMENT PLAN.
- HYDRO TEST TO 150 P.S.I., OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR MIN 2 HOUR DURATION AT THE LOWEST POINT IN THE WATER MAIN.
- BUTTERFLY VALVES TO BE DRESSER 450 OR KENNEDY ADAP-TORQ, CLOW STYLE #2810.
- CONTRACTOR SHALL USE DOUBLE STRAP SERVICE CLAMPS OR H.D. TAPPED COUPLINGS WHEN CONNECTING SERVICE LATERALS.
- CONTRACTOR SHALL NOTIFY CITY 48 HOURS PRIOR TO SHUTDOWN OF WATER MAINS.
- INSTALLATION SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS AND LATEST CITY SPECIFICATIONS AND/OR AS DIRECTED BY THE ENGINEER.
- METER BOXES IN THE SIDEWALK SHALL HAVE CAST IRON LIDS.
- PROVIDE A MINIMUM OF 10 FOOT SEPARATION BETWEEN SEWER AND WATER LATERALS WHERE POSSIBLE.
- BACKFILL COMPACTION AND RE-SURFACING IN EXISTING STREETS SHALL CONFORM TO STREET DIVISION SPECIFICATIONS (LATEST REVISION THEREOF).
- ALL VALVES INSTALLED BY THE CONTRACTOR SHALL BE ACCESSIBLE FOR OPERATION WITH COMPLETE VALVE BOX TO GRADE DIRECTLY FOLLOWING CONNECTION TO EXISTING WATER SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SIZING OF THRUST BLOCKS BASED ON FIELD CONDITIONS. THE SIZE SHOWN ON THE PLANS IS THE MINIMUM SIZE REQUIRED.
- SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED.
- IF WATER MAINS ARE ABANDONED AS A RESULT OF THIS PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RECONNECTION OR REPLACEMENT OF SERVICE LATERALS AS DIRECTED BY THE CITY INSPECTOR. SERVICE LATERALS THAT ARE REPLACED SHALL BE THE SAME SIZE AS EXISTING.
- INTERIOR WATER SYSTEM INCLUDING FIRE HYDRANTS SHALL BE COMPLETE AND ACCEPTED BY THE CITY BEFORE ANY FRAMING PERMITS WILL BE ISSUED. CONTACT CITY FIRE MARSHALL FOR INTERIOR SYSTEM INSPECTIONS.
- CONTACT THE MUNICIPAL WATER DIVISION 48 HOURS PRIOR TO ANY WATER SYSTEM CONSTRUCTION.
- WHERE DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL INSTALL POLY PIGS AND POLY PIG OUTLETS. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS IN ADVANCE TO REQUEST THE CITY TO FLUSH POLY PIGS THROUGH THE MAINS. THE FLUSHING PROCESS SHALL TAKE PLACE PRIOR TO HYDROSTATIC TESTING CHLORINATION AND FINAL FLUSHING OF THE MAIN BY THE CONTRACTOR. FINAL CONNECTIONS SHALL NOT BE MADE PRIOR TO BACTERIA TEST SAMPLES THAT MEET CITY REQUIREMENTS AND AUTHORIZATION FOR TIE-INS BY THE CITY INSPECTOR.
- A COMPLETE SET OF AS BUILT DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT PRIOR TO FINAL INSPECTION.
- THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING CITY WATER SYSTEM VALVES.
- WATER VALVE CANS SHALL BE PER SPEC A-20514 (SLIP CAN TYPE).



VICINITY MAP
N.T.S.

SEWER GENERAL NOTES

- SEWER INSTALLATION IS TO BE IN ACCORDANCE WITH THESE PLANS AND THE STANDARD SPECIFICATIONS AND DETAIL DRAWINGS OF THE CITY OF REDLANDS LATEST REVISION THEREOF.
- ALL SEWER PIPE ELEVATIONS GIVEN REFER TO THE FLOW LINE INVERT ELEVATIONS.
- THE APPROXIMATE LOCATIONS OF KNOWN EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA. THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK THE CONTRACTOR AGREES, PRIOR TO ANY EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR SERVICE UTILITY FACILITIES.
- SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED FOR ALL SEWER PIPE MAY BE REQUIRED IF IN THE OPINION OF THE CITY, THE NATIVE BACKFILL MATERIAL IS DEEMED UNSUITABLE.
- PVC SEWER IS NOT PERMITTED ON ANY HORIZONTAL OR VERTICAL CURVE.
- THE CONTRACTOR SHALL AIR TEST THE SEWER SYSTEM IN ACCORDANCE WITH CITY STANDARDS AFTER ALL OTHER UTILITIES HAVE BEEN INSTALLED AND COMPLETED WITHIN THE TRACT OR DEVELOPMENT. IN ADDITION, AFTER FINAL AIR TEST, THE CONTRACTOR SHALL CONNECT THE SEWER LATERALS TO THE HOUSE LATERALS AT THE PROPERTY.
- SEWER LATERALS SHALL BE CLEARLY MARKED WITH AN "L" CHISELED IN CURB FACE.
- REQUIRED SEPARATION OF THE WATER AND SEWER MAINS AND LATERALS SHALL BE STRICTLY ADHERED TO. INSTALLATION SHALL COMPLY WITH THE STATE DEPARTMENT OF HEALTH REGULATIONS AND BE A MINIMUM OF 10 FEET SEPARATION.
- SEWER LATERAL LOCATIONS SHALL NOT BE CHANGED MORE THAN 3 FEET (HORIZONTAL) WITHOUT AUTHORIZATION FROM THE CITY.
- IF PLASTIC SEWER PIPE IS USED, A MANDREL TEST SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE CITY INSPECTOR IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE MUNICIPAL UTILITIES DEPARTMENT. LATEST REVISIONS EXCEPT THE MANDREL SHALL BE SUPPLIED BY THE PIPE MANUFACTURER APPROVED BY CITY OF REDLANDS AND SHALL BE PULLED THROUGH THE PIPE BY HAND. PVC PIPE-MAXIMUM 15" DIAMETER ALLOWABLE.
- PRIOR TO PAVING OF STREETS OVER A NEW SEWER MAIN ALL COMPACTION TESTS, AIR TESTS, BALLING AND MANDREL TESTS SHALL BE COMPLETED AND APPROVED BY THE CITY AND A COMPLETE SET OF AS-BUILT DRAWINGS SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF AS-BUILT DRAWINGS.
- PRIOR TO ACCEPTANCE BY THE CITY, NEW SEWER LINE SHALL REMAIN PLUGGED AT OR PHYSICALLY SEPARATED FROM THE DOWNSTREAM MANHOLE AND STREETS SHALL BE PAVED.
- THE CONTRACTOR SHALL REPLACE EXISTING STRIPING AS NECESSARY. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR SEWER CONSTRUCTION FROM THE CITY OF REDLANDS PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCEMENT OF WORK.
- PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (A.S.T.M.) DESIGNATION D-3034, 15" MAXIMUM SIZE, SDR 35 LATEST REVISION.
- THE JOINTING OF PVC SEWER PIPE SHALL BE BY USING ELECTROMETRIC GASKET JOINTS. THE CRITICAL SEALING DIMENSIONS OF THE BELL, SPIGOT, AND GASKET SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARD DIMENSIONS AND TOLERANCES.
- MANHOLE RIM ELEVATIONS INDICATED HEREON ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL RIMS TO FINAL FINISH GRADE, IN COORDINATION WITH STREET IMPROVEMENTS.
- ALL SEWER STATIONS ARE CENTERLINE SEWER MAIN UNLESS OTHERWISE INDICATED.
- DURING THE PERIOD OF CONSTRUCTION THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN ALL WARNINGS, SIGNS, BARRICADES, AND OTHER SAFETY MEASURES IN CONFORMANCE WITH THE STATE MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, LATEST EDITION. THE CONTRACTOR SHALL PROVIDE SAFE AND CONTINUOUS PASSAGE FOR PEDESTRIAN AND VEHICULAR TRAFFIC AT ALL TIMES.

UNDERGROUND UTILITY NOTE

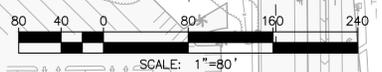
THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE GENERATED FROM RECORDS AND/OR UTILITY PROVIDER RECORD MAPS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.

WATER DATA TABLE

NO	BEARING/DELTA	LENGTH	SIZE/TYPE
1	N 90°00'00" E	350.53'	6" PVC (C900 DR18)
2	N 00°00'00" E	36.48'	6" PVC (C900 DR18)

SEWER DATA TABLE

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE	NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 00°00'00" E	---	139.35'	6" PVC (SDR-35)	5	N 00°00'00" E	---	55.18'	6" PVC (SDR-35)
2	N 90°00'00" E	---	277.70'	6" PVC (SDR-35)	6	N 90°00'00" E	---	181.20'	6" PVC (SDR-35)
3	N 00°00'00" E	---	280.40'	6" PVC (SDR-35)	7	N 00°00'00" E	---	80.64'	6" PVC (SDR-35)
4	N 00°00'00" E	---	18.51'	6" PVC (SDR-35)	8	N 00°00'00" E	---	21.88'	6" PVC (SDR-35)



FIRE DATA TABLE

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE	NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 00°33'50" W	---	61.61'	10" PVC (C900 DR14)	13	N 90°00'00" E	---	54.87'	4" PVC (C900 DR14)
2	N 00°00'00" E	---	33.07'	10" PVC (C900 DR14)	14	N 00°00'00" E	---	95.54'	10" PVC (C900 DR14)
3	N 90°00'00" E	---	29.48'	6" PVC (C900 DR14)	15	N 90°00'00" E	---	161.59'	6" PVC (C900 DR14)
4	N 00°00'00" E	---	192.92'	6" PVC (C900 DR14)	16	N 00°00'00" E	---	346.23'	10" PVC (C900 DR14)
5	N 90°00'00" E	---	304.12'	10" PVC (C900 DR14)	17	N 90°00'00" E	---	848.04'	10" PVC (C900 DR14)
6	N 00°00'00" E	---	38.66'	10" PVC (C900 DR14)	18	N 00°00'00" E	---	103.69'	6" PVC (C900 DR14)
7	N 90°00'00" E	---	80.81'	10" PVC (C900 DR14)	19	N 90°00'00" E	---	172.71'	10" PVC (C900 DR14)
8	N 00°00'00" E	---	40.81'	10" PVC (C900 DR14)	20	N 00°00'00" E	---	364.56'	10" PVC (C900 DR14)
9	N 90°00'00" E	---	29.16'	6" PVC (C900 DR14)	21	N 00°00'00" E	---	25.92'	10" PVC (C900 DR14)
10	N 00°00'00" E	---	560.16'	10" PVC (C900 DR14)	22	N 90°00'00" E	---	118.72'	6" PVC (C900 DR14)
11	N 90°00'00" E	---	22.72'	6" PVC (C900 DR14)	23	N 89°33'08" E	---	182.22'	10" PVC (C900 DR14)
12	N 00°00'00" E	---	54.03'	10" PVC (C900 DR14)	24	N 89°33'08" E	---	51.22'	10" PVC (C900 DR14)

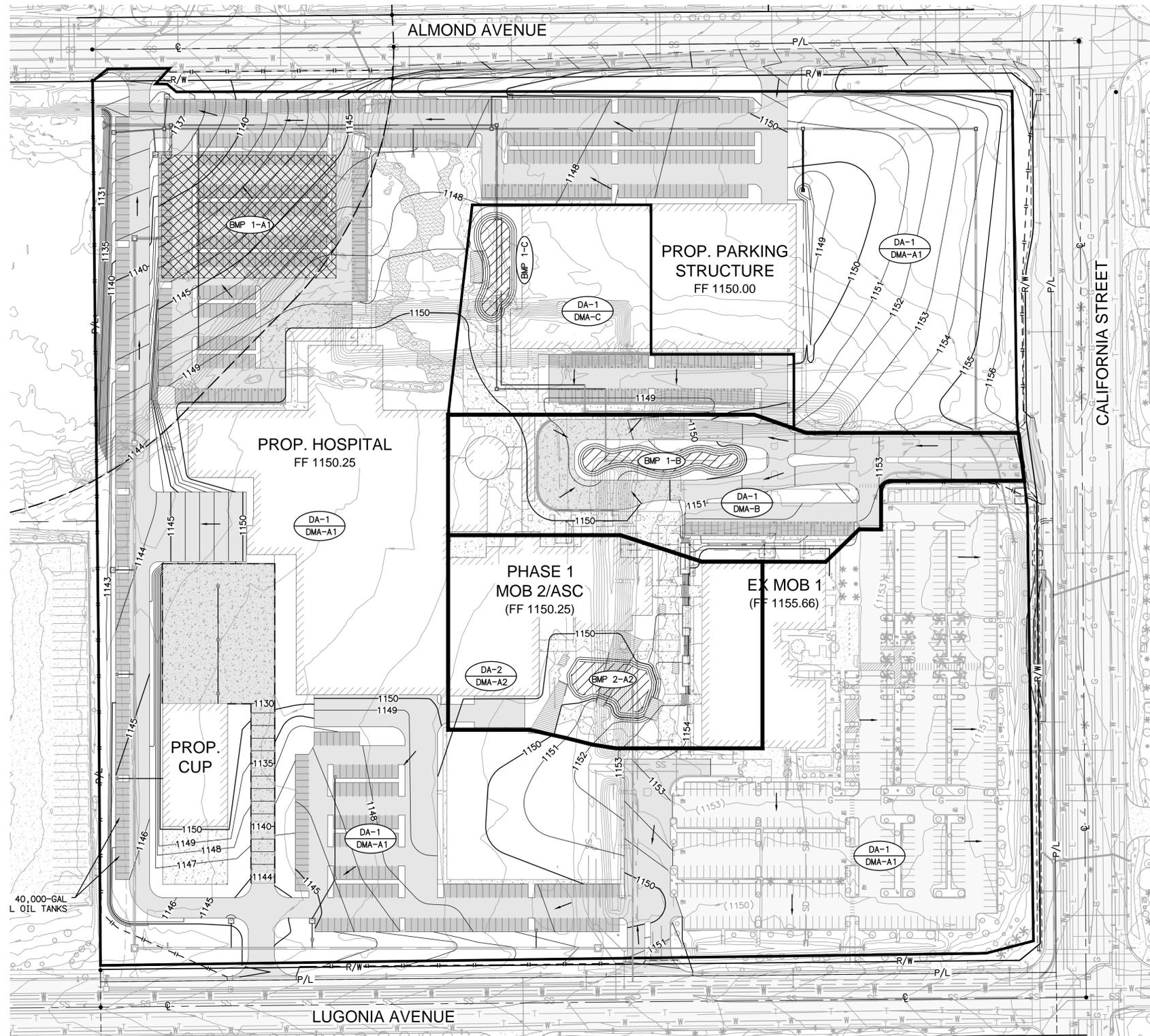
SITE PHASING - 2
UTILITY PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

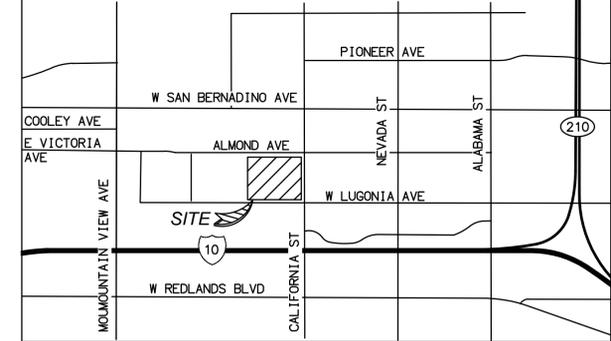
Sheet: **C3.02** CITY OF REDLANDS

Site Development Plan Number: _____
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 303 E Walnut Street, Pasadena, CA 91108
 ARCHITECT: ENGINEER: DESIGNER: CO Architects, Michael Baker Int'l, Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE



LEGEND

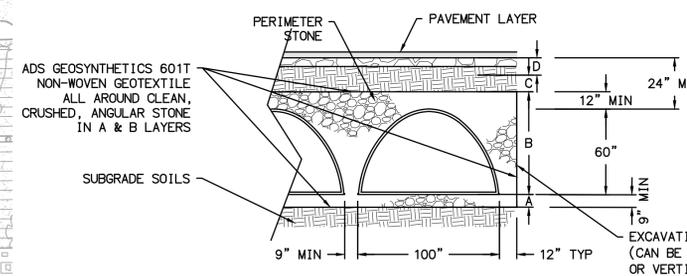
- STORM WATER BASIN
- UNDERGROUND INFILTRATION CHAMBERS
- DRAINAGE BOUNDARY
- FLOW ARROW
- FLOW DIRECTION
- DMA/DA ID
- BMP ID



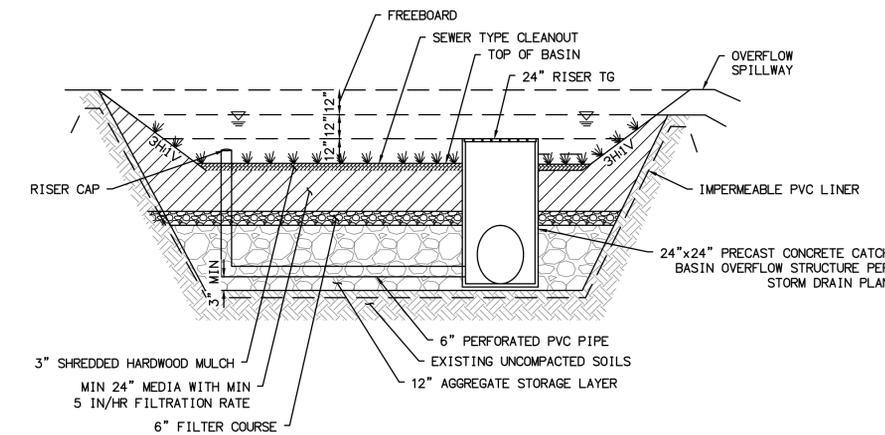
VICINITY MAP
N.T.S.

NOTES:

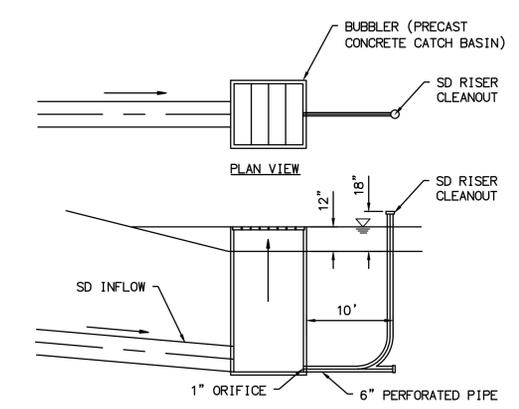
1. SECTION A - FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER
2. SECTION B - EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.
3. SECTION C - INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.
4. SECTION D - FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.



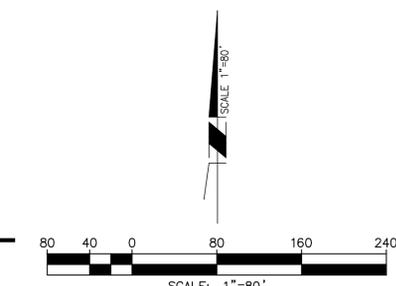
TYPICAL UNDERGROUND ADS STORMWATER CHAMBER INFILTRATION DETAIL
SCALE: NOT TO SCALE



TYPICAL BIO-RETENTION BASIN DETAIL
SCALE: NOT TO SCALE



BUBBLER FOR BIORETENTION BASIN DETAIL
SCALE: NOT TO SCALE



DA	DMA	BMP ID	TOTAL AREA (SF)	IMPERVIOUS RATIO	DMA RUNOFF FACTOR	DESIGN CAPTURE VOLUME (CF)	BMP PROPOSED SURFACE AREA (SF)	VOLUME RETAINED BY BMP (CF)	BMP TYPE
1	A1	BMP 1-A1	1,243,202	85%	0.66	95,381	43,520	97,376	UNDERGROUND INFILTRATION (SIZED FOR ULTIMATE PHASE 4)
1	*B	BMP 1-B	120,226	85%	0.66	9,224	4,053	9,423	BIORETENTION WITH UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
1	C	BMP 1-C	104,047	85%	0.66	7,983	4,056	9,430	BIORETENTION WITH BUBBLER AND UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)
2	*A2	BMP 2-A2	152,236	85%	0.66	11,680	5,117	11,897	BIORETENTION WITH UNDERDRAIN (SIZED FOR ULTIMATE PHASE 4)

*DESIGNED TO THE LARGER ULTIMATE DESIGN CAPTURE VOLUME (DCV).

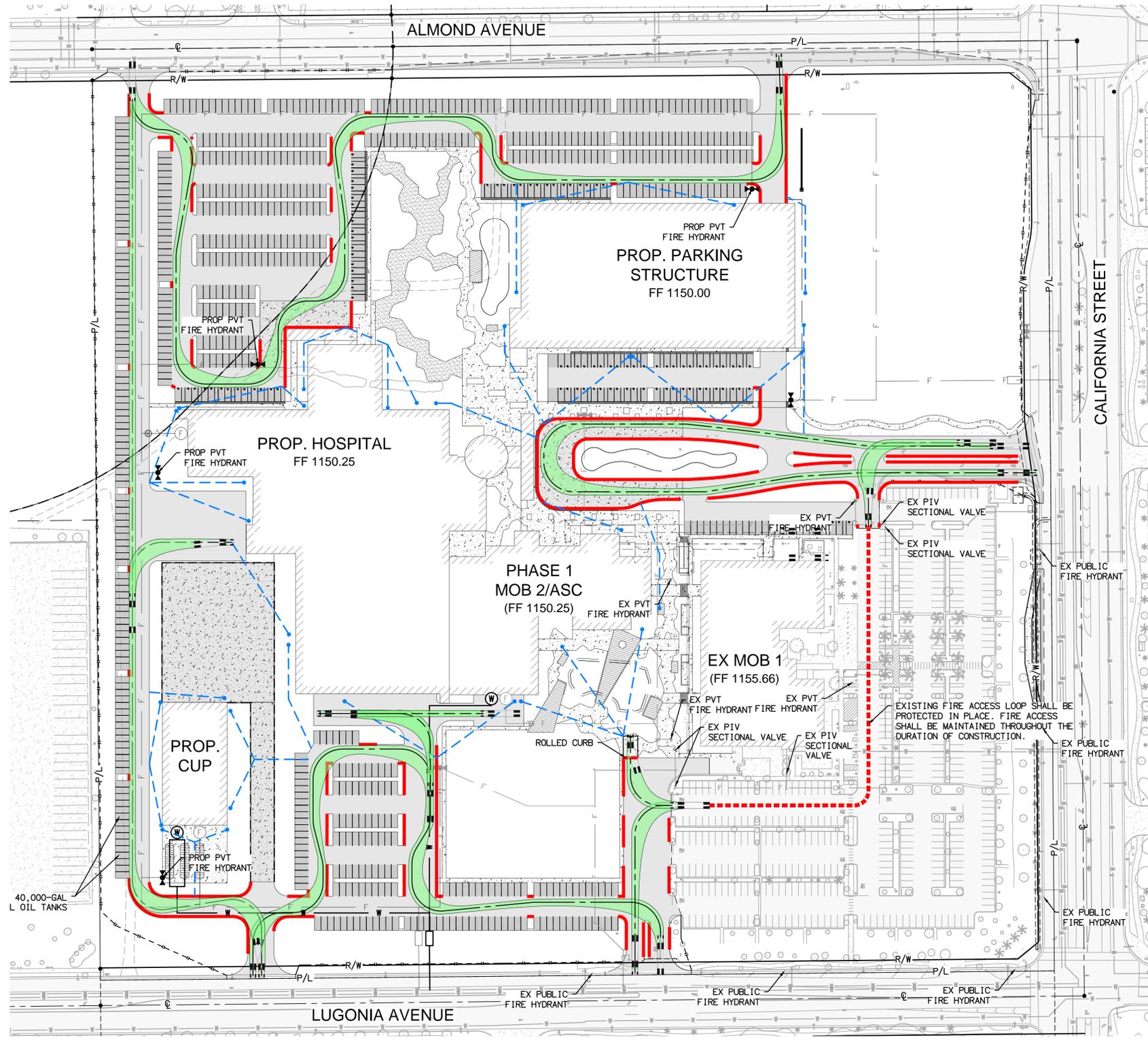
SITE PHASING - 2
BMP PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

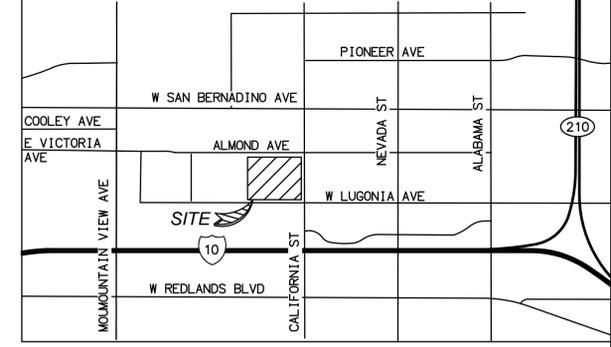
Sheet: **C3.03** CITY OF REDLANDS

Site Development Plan Number: _____
 OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
 ADDRESS: 393 E. Walnut Street Pasadena, CA 91188
 ARCHITECT: ENGINEER: DESIGNER: C2 Architects, Michael Baker Intl., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
 ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect) LOCATION: 1301 California Street, Redlands, CA 92374
 TYPE OF DEVELOPMENT: XXXXX ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
 ZONE: CR ZONE



FIRE PROTECTION LEGEND

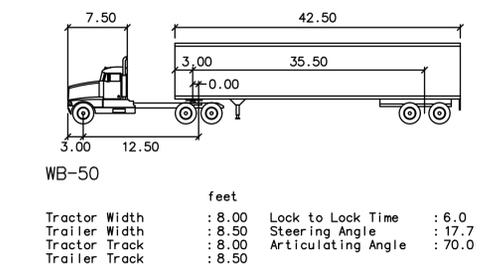
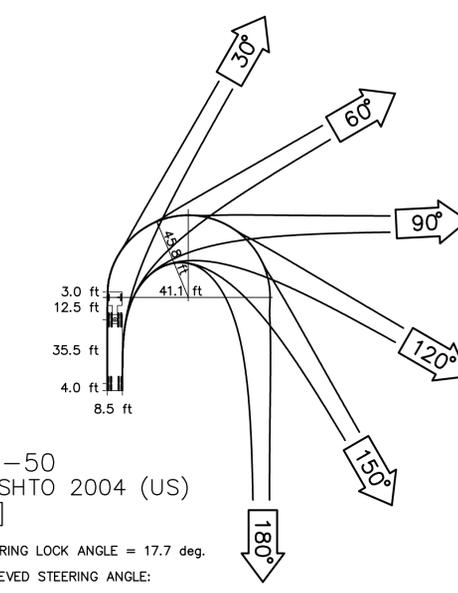
- PROPOSED FIRE HYDRANT
- PROPOSED PIV
- PROPOSED FDC
- PROPOSED FIRE MAIN
- HOSE PULL (150' MAX)
- RED PAINTED CURB
- FIRE TRUCK TURNING MOVEMENT
- EXISTING FIRE HYDRANT
- EXISTING PIV
- EXISTING FDC
- EXISTING FIRE MAIN
- EXISTING FIRE ROUTE



VICINITY MAP
N.T.S.

FIRE NOTES

1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4
2. STREET OR ROAD SIGNS - TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. CFC 505.2
3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3
4. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
5. CLEAR SPACE AROUND HYDRANTS - A THREE (3) FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED. CFC 507.5.5
6. PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION 312. CFC 507.5.6
7. DEAD ENDS - DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5
8. SECURITY GATES - WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM G 2200.
9. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OF BUILDING FEATURES SHALL NO OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
10. APPROVED DOCUMENTS - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. CFC 105.4.4

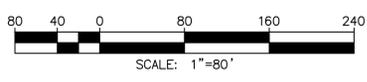


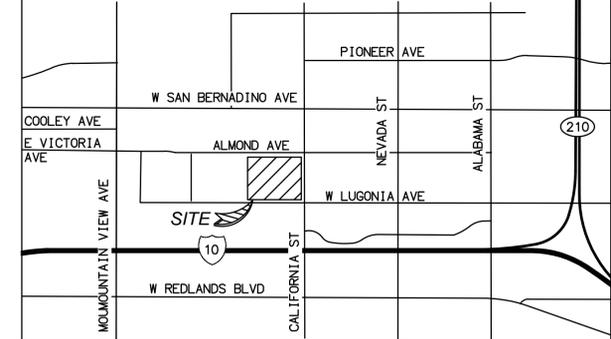
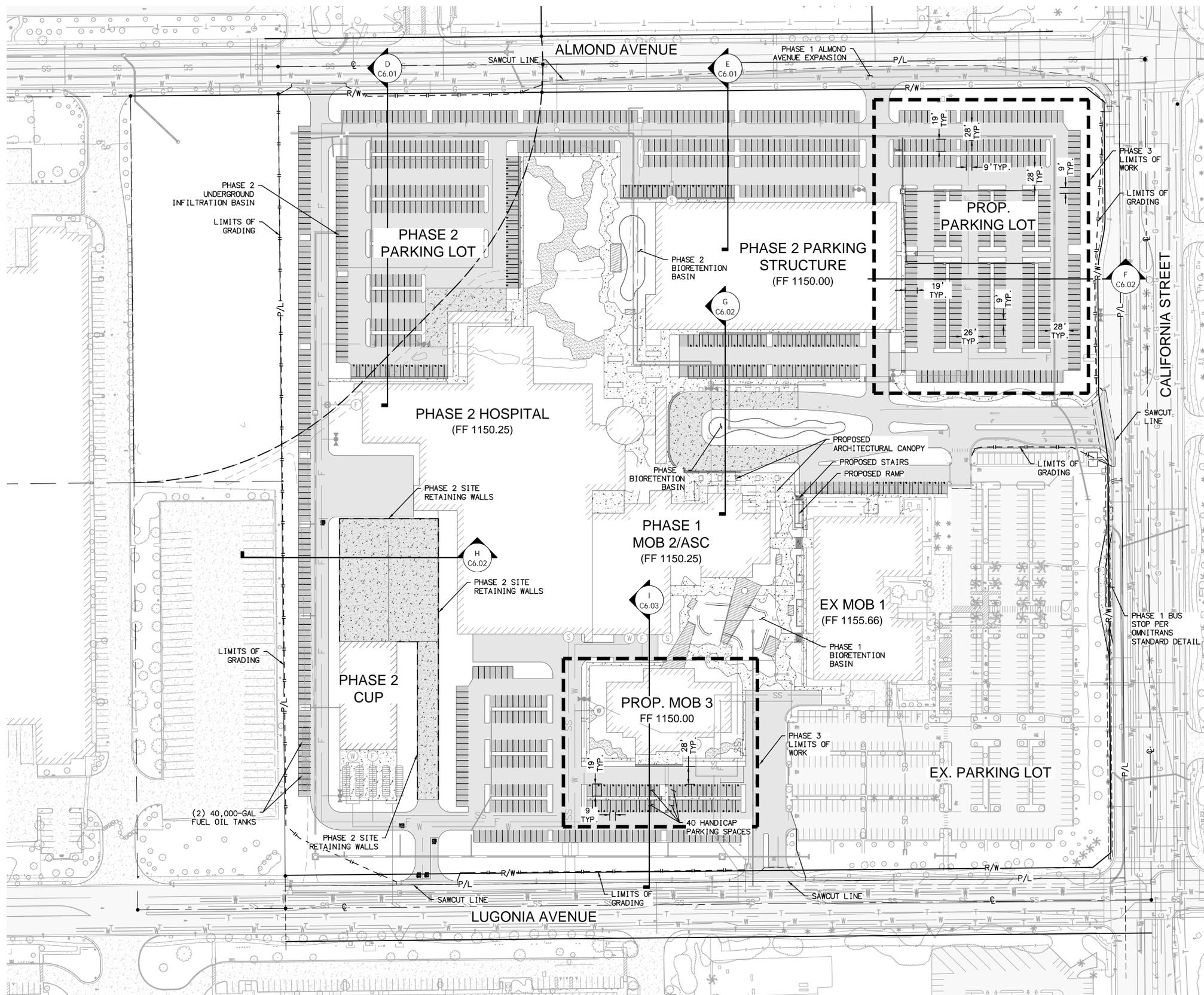
WB-50
AASHTO 2004 (US)
[ft]

STEERING LOCK ANGLE = 17.7 deg.

ACHIEVED STEERING ANGLE:

- 30 deg. SWEEP ANGLE: 14.4 deg.
- 60 deg. SWEEP ANGLE: 17.1 deg.
- 90 deg. SWEEP ANGLE: 17.6 deg.
- 120 deg. SWEEP ANGLE: 17.7 deg.
- 150 deg. SWEEP ANGLE: 17.7 deg.
- 180 deg. SWEEP ANGLE: 17.7 deg.

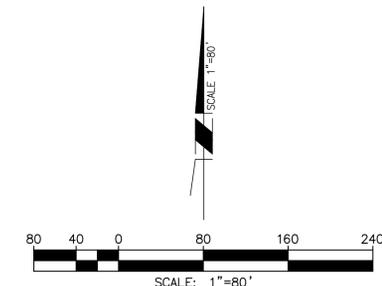




VICINITY MAP
N.T.S.

LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
AC PAVEMENT	▨
HEAVY VEHICULAR AC PAVEMENT	▨
HEAVY VEHICULAR CONCRETE PAVEMENT	▨
PEDESTRIAN CONCRETE PAVEMENT	▨
DG PATH	▨
PROPOSED BUILDING	▨
TRUNCATED DOMES	▨
LIMITS OF WORK LINE	---
SITE RETAINING WALL	---



SITE PHASING - 3
SITE PLAN
July 24, 2024

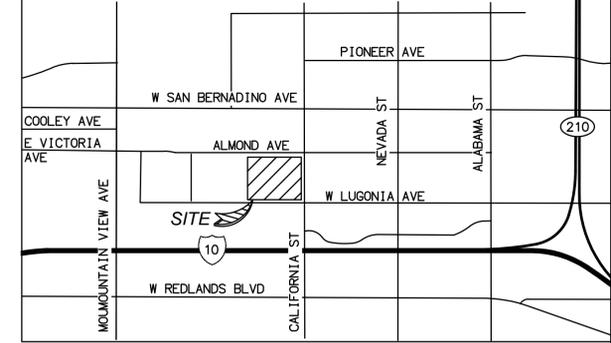
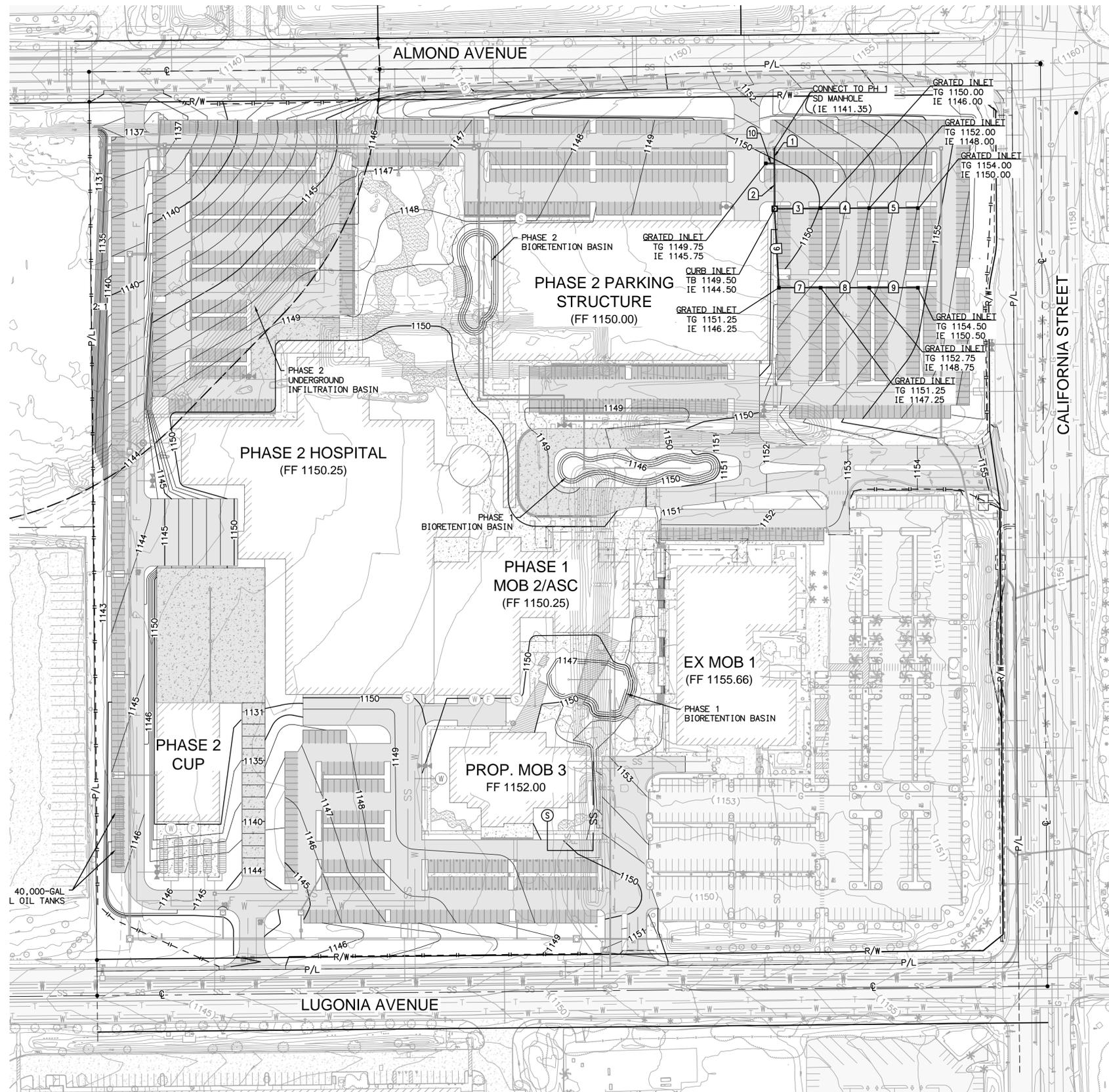


REDLANDS MEDICAL CENTER

Sheet: C4.00

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 303 E. Walnut Street, Pasadena, CA 91108
ARCHITECT, ENGINEER, DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



VICINITY MAP
N.T.S.

GRADING GENERAL NOTES

- ALL GRADING AND ON-SITE CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF THE UNIFORM BUILDING CODE, LATEST EDITION, APPENDIX CHAPTER 33 AND THE CALIFORNIA BUILDING CODE, LATEST EDITION. THESE CODES ARE AMENDED IN THE CITY OF REDLANDS MUNICIPAL CODE. IF CONTRADICTIONS ARISE BETWEEN PROVISIONS IN THESE PLANS FROM THOSE IN THE VARIOUS CODES, THE MOST RESTRICTIVE PROVISIONS WILL GOVERN.
- AFTER THE GRADING PERMIT HAS BEEN ISSUED, THE PROJECT MANAGER SHALL CONVENE AN ON-SITE PRECONSTRUCTION MEETING WITH THE CITY OF REDLANDS INSPECTOR, THE ENGINEER OF RECORD, THE GEOTECHNICAL ENGINEER AND THE GRADING CONTRACTOR. AT THIS MEETING, THE PROJECT SUPERINTENDENT SHALL BE IDENTIFIED AND AN EMERGENCY CONTACT PERSON SHALL BE IDENTIFIED TO THE INSPECTOR.
- USE BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT AND CONTAIN ILLEGAL DISCHARGES WITHIN THE PROJECT BOUNDARY. THIS WILL BE IN EFFECT FOR THE ENTIRE DURATION OF THE PROJECT CONSTRUCTION TO ITS COMPLETION.
- BUILDING PERMITS SHALL NOT BE ISSUED UNTIL THE PROJECT SITE HAS BEEN GRADED AND THE ENGINEER OF RECORD HAS CERTIFIED TO THE SATISFACTION OF THE CITY ENGINEER THAT THE SITE HAS BEEN PREPARED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS REPORT(S) AND TO THE SPECIFICATIONS OF THE APPROVED GRADING PLANS. IN ADDITION, A FINAL COMPACTION REPORT SHALL BE SUBMITTED TO BOTH THE INSPECTOR AND THE BUILDING OFFICIAL FOR APPROVAL.
- A WRITTEN REPORT BY A GEOTECHNICAL ENGINEER IS TO BE FURNISHED TO BOTH THE CITY'S MUNICIPAL UTILITIES AND ENGINEERING DEPARTMENT AND BUILDING AND SAFETY DIVISION, TO CERTIFY THAT ALL FILL MATERIAL AND MATERIAL UPON WHICH FILL IS TO BE PLACED IS ADEQUATE TO SUPPORT THE LOADS OF THE PROPOSED DEVELOPMENT. THIS REPORT SHALL INCLUDE SOIL TEST DATA ON ALL FILLS OF TWO FEET OR MORE.
- PREPARATION OF THE SITE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE INSTRUCTIONS OF A GEOTECHNICAL ENGINEER AND ALL FILLS WILL BE MADE UNDER HIS DIRECTION.
- IN NO CASE IS ANY SLOPE TO EXCEED A GRADIENT OF TWO HORIZONTAL TO ONE VERTICAL (2:1).
- THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITY LINES, STRUCTURES OR IRRIGATION LINES. THE CONTRACTOR IS TO MAKE AN ON-SITE INSPECTION AND NOTIFY ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR CLEARING THE SITE IN PREPARATION FOR CONSTRUCTION.
- THE ENGINEER'S ESTIMATE IS 79,000 CY OF EXCAVATION AND 105,000 CY OF EMBANKMENT FOR THE SITE GRADING. THESE ARE RAW QUANTITIES WITHOUT ALLOWANCES FOR LOSS, SHRINKAGE OR COMPACTION.
- INSTALL FIRE HYDRANTS AS REQUIRED PRIOR TO THE DELIVERY OF ANY BUILDING MATERIAL TO THE SITE.
- BENCHMARK: ENTER PROJECT SPECIFIC DATA HERE. ELEVATION:
- ALL SLOPES THREE FEET OR GREATER MUST BE LANDSCAPED AND IRRIGATED PRIOR TO OCCUPANCY.
- ACREAGE OF THE PROJECT IS: ACRE(S).
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY WALLS, SIDEWALKS, SLABS, PAVING, ETC. TO BE CONSTRUCTED ON-SITE AS SHOWN HEREON. A SEPARATE PERMIT IS REQUIRED FROM THE BUILDING AND SAFETY DIVISION FOR THE CONSTRUCTION OF THESE ON-SITE ITEMS.
- ALL EARTHWORK SHALL CONFORM TO THE PRELIMINARY GEOTECHNICAL AND/OR GEOLOGIC INVESTIGATION REPORT FOR _____ PREPARED BY _____, DATED _____.
- THE ENGINEER OF RECORD MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS PRIOR TO POURING ANY CONCRETE.

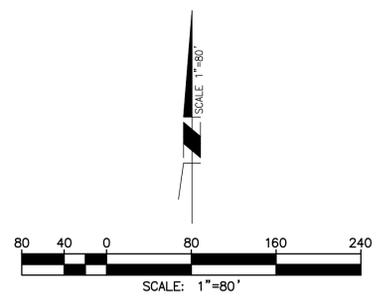
LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- DAYLIGHT LINE
- SAWCUT LINE
- STORM DRAIN
- CURB INLET
- STORM DRAIN MANHOLE
- CATCH BASIN INLET
- CONCRETE HEADWALL
- CONCRETE STRUCTURE INLET

EARTHWORK

CUT: 79,000 CY
FILL: 105,000 CY
NET: 26,000 CY FILL

STORM DRAIN DATA TABLE				
NO	BEARING/Delta	LENGTH	SIZE/TYPE	SLOPE (%)
1	N00°00'00"E	19.39'	18" HDPE	3.9
2	N00°23'42"W	61.86'	18" HDPE	3.9
3	N89°35'35"E	60.95'	18" HDPE	2.5
4	N89°31'53"E	65.85'	12" HDPE	3.0
5	N89°37'48"E	66.00'	12" HDPE	3.3
6	N03°11'09"W	107.97'	18" HDPE	1.6
7	N90°00'00"W	56.15'	18" HDPE	1.8
8	N90°00'00"W	65.85'	12" HDPE	2.3
9	N90°00'00"W	66.00'	12" HDPE	2.7
10	N89°41'57"E	10.38'	12" HDPE	36.1

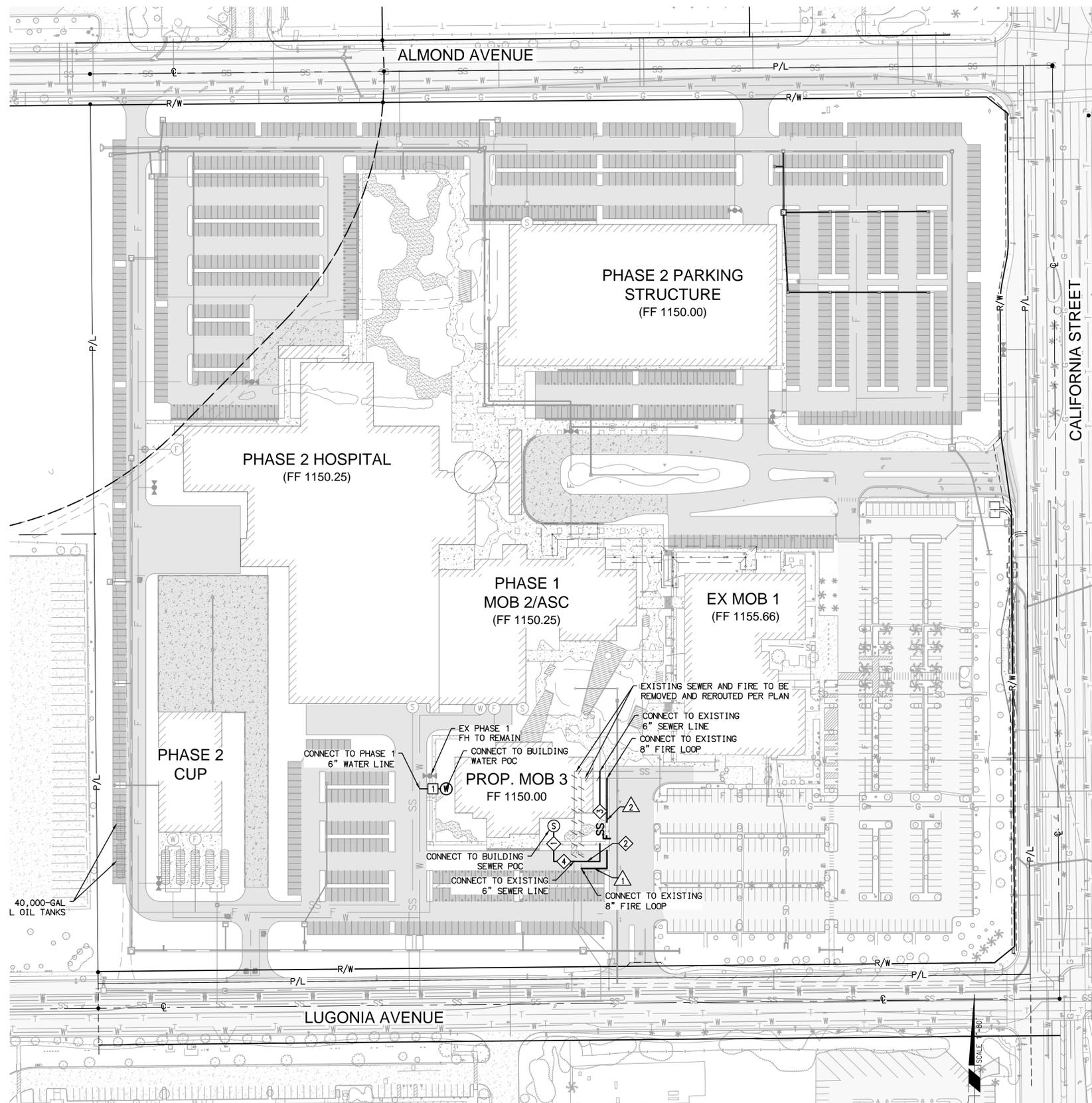


SITE PHASING -3
GRADING PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

Sheet: C4.01	CITY OF REDLANDS
Site Development Plan Number:	OWNER: Kaiser Foundation Hospitals PHONE: 626.405.6333
ADDRESS: 303 E Walnut Street Pasadena, CA 91168	ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Intl., Ridge Landscape Architects PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	



LEGEND

- WATER LINE — W —
- SEWER LINE — SS —
- FIRE LINE — F —
- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- UTILITY POC
- UNDERGROUND EMERGENCY TANKS

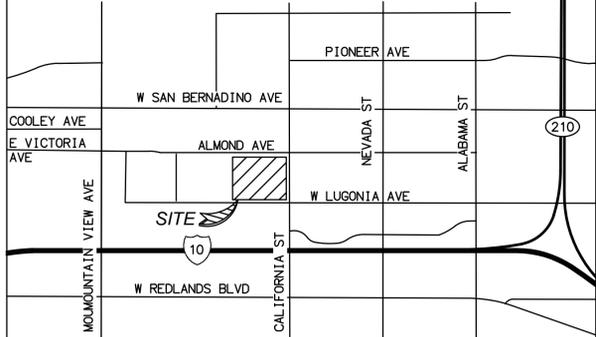
WATER GENERAL NOTES

1. MATERIAL AND INSTALLATION SHALL CONFORM TO THE CITY OF REDLANDS MUNICIPAL WATER DIVISION STANDARD SPECIFICATION (LATEST REVISION THEREOF).
2. THE APPROXIMATE LOCATIONS OF EXISTING UNDERGROUND UTILITY LINES ARE SHOWN IN THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA, AND THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK, THE CONTRACTOR AGREES PRIOR TO EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK, AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR TRUNKLINE UTILITY FACILITIES.
3. ALL SERVICE CONNECTIONS TO BE MINIMUM 1-INCH COPPER LATERALS.
4. STANDARD WATER MAIN LOCATION IS 7 FEET OFF CURB FACE.
5. THIS DRAWING IS SCHEMATIC ONLY, DO NOT SCALE.
6. THE CONTRACTOR SHALL MAKE ALL WATER MAIN CONNECTIONS TO EXISTING WATER MAINS, UNLESS OTHERWISE NOTED.
7. EXISTING UTILITIES ARE SHOWN ON DEVELOPMENT PLAN.
8. HYDRO TEST TO 150 P.S.I., OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR MIN 2 HOUR DURATION AT THE LOWEST POINT IN THE WATER MAIN.
9. BUTTERFLY VALVES TO BE DRESSER 450 OR KENNEDY ADAP-TORQ, CLOW STYLE #2810.
10. CONTRACTOR SHALL USE DOUBLE STRAP SERVICE CLAMPS OR H.D. TAPPED COUPLINGS WHEN CONNECTING SERVICE LATERALS.
11. CONTRACTOR SHALL NOTIFY CITY 48 HOURS PRIOR TO SHUTDOWN OF WATER MAINS.
12. INSTALLATION SHALL CONFORM TO MANUFACTURERS SPECIFICATIONS AND LATEST CITY SPECIFICATIONS AND/OR AS DIRECTED BY THE ENGINEER.
13. METER BOXES IN THE SIDEWALK SHALL HAVE CAST IRON LIDS.
14. PROVIDE A MINIMUM OF 10 FOOT SEPARATION BETWEEN SEWER AND WATER LATERALS WHERE POSSIBLE.
15. BACKFILL COMPACTION AND RE-SURFACING IN EXISTING STREETS SHALL CONFORM TO STREET DIVISION SPECIFICATIONS (LATEST REVISION THEREOF).
16. ALL VALVES INSTALLED BY THE CONTRACTOR SHALL BE ACCESSIBLE FOR OPERATION WITH COMPLETE VALVE BOX TO GRADE DIRECTLY FOLLOWING CONNECTION TO EXISTING WATER SYSTEM.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SIZING OF THRUST BLOCKS BASED ON FIELD CONDITIONS. THE SIZE SHOWN ON THE PLANS IS THE MINIMUM SIZE REQUIRED.
18. SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED.
19. IF WATER MAINS ARE ABANDONED AS A RESULT OF THIS PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RECONNECTION OR REPLACEMENT OF SERVICE LATERALS AS DIRECTED BY THE CITY INSPECTOR. SERVICE LATERALS THAT ARE REPLACED SHALL BE THE SAME SIZE AS EXISTING.
20. INTERIOR WATER SYSTEM INCLUDING FIRE HYDRANTS SHALL BE COMPLETE AND ACCEPTED BY THE CITY BEFORE ANY FRAMING PERMITS WILL BE ISSUED. CONTACT CITY FIRE MARSHALL FOR INTERIOR SYSTEM INSPECTIONS.
21. CONTACT THE MUNICIPAL WATER DIVISION 48 HOURS PRIOR TO ANY WATER SYSTEM CONSTRUCTION.
22. WHERE DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL INSTALL POLY PIGS AND POLY PIG OUTLETS. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS IN ADVANCE TO REQUEST THE CITY TO FLUSH POLY PIGS THROUGH THE MAINS. THE FLUSHING PROCESS SHALL TAKE PLACE PRIOR TO HYDROSTATIC TESTING CHLORINATION AND FINAL FLUSHING OF THE MAIN BY THE CONTRACTOR. FINAL CONNECTIONS SHALL NOT BE MADE PRIOR TO BACTERIA TEST SAMPLES THAT MEET CITY REQUIREMENTS AND AUTHORIZATION FOR TIE-INS BY THE CITY INSPECTOR.
23. A COMPLETE SET OF AS BUILT DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT PRIOR TO FINAL INSPECTION.
24. THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING CITY WATER SYSTEM VALVES.
25. WATER VALVE CANS SHALL BE PER SPEC A-20514 (SLIP CAN TYPE).

SEWER GENERAL NOTES

1. SEWER INSTALLATION IS TO BE IN ACCORDANCE WITH THESE PLANS AND THE STANDARD SPECIFICATIONS AND DETAIL DRAWINGS OF THE CITY OF REDLANDS LATEST REVISION THEREOF.
2. ALL SEWER PIPE ELEVATIONS GIVEN REFER TO THE FLOW LINE INVERT ELEVATIONS.
3. THE APPROXIMATE LOCATIONS OF KNOWN EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THESE PLANS. THE LINES ARE PLOTTED FROM A COMBINATION OF RECORD AND FIELD DATA. THE CITY HAS TRIED WITHIN ITS AVAILABLE RESOURCES TO LOCATE ALL SUCH FACILITIES WITH REASONABLE ACCURACY. BY ENTERING INTO A CONTRACT FOR THIS WORK THE CONTRACTOR AGREES, PRIOR TO ANY EXCAVATION TO NOTIFY ALL UTILITY AND IRRIGATION COMPANIES OPERATING IN THE AREA OF THE WORK AND TO DETERMINE WITH AS MUCH ACCURACY AS IS NEEDED TO PERFORM THIS WORK, THE EXACT LOCATIONS OF ALL UNDERGROUND MAIN OR SERVICE UTILITY FACILITIES.
4. SAND BEDDING AND BACKFILL TO A DEPTH OF 12" ABOVE PIPE IS REQUIRED FOR ALL SEWER PIPE MAY BE REQUIRED IF IN THE OPINION OF THE CITY, THE NATIVE BACKFILL MATERIAL IS DEEMED UNSUITABLE.
5. PVC SEWER IS NOT PERMITTED ON ANY HORIZONTAL OR VERTICAL CURVE.
6. THE CONTRACTOR SHALL AIR TEST THE SEWER SYSTEM IN ACCORDANCE WITH CITY STANDARDS AFTER ALL OTHER UTILITIES HAVE BEEN INSTALLED AND COMPLETED WITHIN THE TRACT OR DEVELOPMENT. IN ADDITION, AFTER FINAL AIR TEST, THE CONTRACTOR SHALL CONNECT THE SEWER LATERALS TO THE HOUSE LATERALS AT THE PROPERTY.
7. SEWER LATERALS SHALL BE CLEARLY MARKED WITH AN "L" CHISELED IN CURB FACE.
8. REQUIRED SEPARATION OF THE WATER AND SEWER MAINS AND LATERALS SHALL BE STRICTLY ADHERED TO. INSTALLATION SHALL COMPLY WITH THE STATE DEPARTMENT OF HEALTH REGULATIONS AND BE A MINIMUM OF 10 FEET SEPARATION.
9. SEWER LATERAL LOCATIONS SHALL NOT BE CHANGED MORE THAN 3 FEET (HORIZONTAL) WITHOUT AUTHORIZATION FROM THE CITY.
10. IF PLASTIC SEWER PIPE IS USED, A MANDREL TEST SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE CITY INSPECTOR IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE MUNICIPAL UTILITIES DEPARTMENT. LATEST REVISIONS EXCEPT THE MANDREL SHALL BE SUPPLIED BY THE PIPE MANUFACTURER APPROVED BY CITY OF REDLANDS AND SHALL BE PULLED THROUGH THE PIPE BY HAND. PVC PIPE-MAXIMUM 15" DIAMETER ALLOWABLE.
11. PRIOR TO PAVING OF STREETS OVER A NEW SEWER MAIN ALL COMPACTION TESTS, AIR TESTS, BALLING AND MANDREL TESTS SHALL BE COMPLETED AND APPROVED BY THE CITY AND A COMPLETE SET OF AS-BUILT DRAWINGS SUBMITTED TO THE MUNICIPAL UTILITIES DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF AS-BUILT DRAWINGS.
12. PRIOR TO ACCEPTANCE BY THE CITY, NEW SEWER LINE SHALL REMAIN PLUGGED AT OR PHYSICALLY SEPARATED FROM THE DOWNSTREAM MANHOLE AND STREETS SHALL BE PAVED.
13. THE CONTRACTOR SHALL REPLACE EXISTING STRIPING AS NECESSARY. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR SEWER CONSTRUCTION FROM THE CITY OF REDLANDS PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCEMENT OF WORK.
14. PVC SEWER PIPE AND FITTINGS SHALL CONFORM TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (A.S.T.M.) DESIGNATION D-3034, 15" MAXIMUM SIZE, SDR 35 LATEST REVISION.
15. THE JOINTING OF PVC SEWER PIPE SHALL BE BY USING ELECTROMETRIC GASKET JOINTS. THE CRITICAL SEALING DIMENSIONS OF THE BELL, SPIGOT, AND GASKET SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARD DIMENSIONS AND TOLERANCES.
16. MANHOLE RIM ELEVATIONS INDICATED HEREON ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL RIMS TO FINAL FINISH GRADE, IN COORDINATION WITH STREET IMPROVEMENTS.
17. ALL SEWER STATIONS ARE CENTERLINE SEWER MAIN UNLESS OTHERWISE INDICATED.
18. DURING THE PERIOD OF CONSTRUCTION THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN ALL WARNINGS, SIGNS, BARRICADES, AND OTHER SAFETY MEASURES IN CONFORMANCE WITH THE STATE MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, LATEST EDITION. THE CONTRACTOR SHALL PROVIDE SAFE AND CONTINUOUS PASSAGE FOR PEDESTRIAN AND VEHICULAR TRAFFIC AT ALL TIMES.

VICINITY MAP
N.T.S.



NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N00°00'00"E	---	50.14'	6" PVC (SDR-35)
2	N 89°51'23" W	---	36.82'	6" PVC (SDR-35)
3	N 00°00'00" E	---	127.78'	6" PVC (SDR-35)
4	N90°00'00"E	---	28.82'	6" PVC (SDR-35)

NO	BEARING/DELTA	LENGTH	SIZE/TYPE
1	N 90°00'00" E	37.90'	4" PVC (C900 DR18)

NO	BEARING/DELTA	RADIUS	LENGTH	SIZE/TYPE
1	N 90°00'00" E	---	36.43'	8" PVC (C900 DR14)
2	N 00°00'00" E	---	127.78'	8" PVC (C900 DR14)

SITE PHASING - 3
UTILITY PLAN
July 24, 2024



REDLANDS MEDICAL CENTER

Sheet: **C4.02**

CITY OF REDLANDS

Site Development Plan Number:	PHONE: 626.405.6333
OWNER: Kaiser Foundation Hospitals	ADDRESS: 303 E Walnut Street Pasadena, CA 91108
ARCHITECT/ENGINEER/DESIGNER: CO Architects, Michael Baker Int'l., Ridge Landscape Architects	PHONE: 323.525.0500 (Architect)
ADDRESS: 5750 Wilshire Boulevard, Suite 550, Los Angeles CA 90036 (Architect)	LOCATION: 1301 California Street, Redlands, CA 92374
TYPE OF DEVELOPMENT: XXXXX	ACCESSOR'S PARCEL NUMBER: 0167-441-07-0-000
ZONE: CR ZONE	